



## 157 - 165 CROSS AVENUE, OAKVILLE

### DRAWING LIST:

#### LANDSCAPE

L001	COVER
L100.a	GROUND FLOOR LAYOUT PLAN - INTERIM CONDITION
L100.b	GROUND FLOOR LAYOUT PLAN - ULTIMATE CONDITION
L101	SOIL VOLUME AND CANOPY COVER PLAN
L102	L02 AMENITY TERRACE PLAN
L103	L03 AMENITY TERRACE PLAN
L500	DETAILS
L501	DETAILS
L502	PRECEDENT IMAGES

#### DEVELOPER

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1-90 Wingold Avenue  
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T: 416.628.8038  
Contact: Clarence Qian  
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#### ARBORIST

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146 Lakeshore Road West  
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#### ARCHITECT

Teep Architects Inc.  
5 Camden Street  
Toronto, ON M5V 1V2  
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Email: fvillanueva@teeparch.com

#### CIVIL

Trafalgar Engineering Ltd.  
1-481 Morden Road  
Oakville, ON L6K 3W6  
T: 905.338.3366  
Contact: James Nelson  
Email: jnelson@trafalgareng.com

#### TRAFFIC

BA Consulting Group Ltd  
45 St. Clair Avenue W  
Toronto, ON M4V 1K9  
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RWDI  
600 Southgate Drive  
Guelph, ON N1R 8J8  
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Contact: Scott Bell  
Email: scott.bell@rwdi.com

#### PLANNING

Bousfields Inc.  
3 Church Street  
Toronto, ON M5E 1M2  
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Contact: Claire Ricker  
Email: cricker@bousfields.ca

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  7. The Designer of these plans and specifications gives no warranty or representation to any party about the constructability of the represented by them. All contractors or subcontractors shall verify dimensions and existing conditions at all times that they can properly construct the work represented by these plans.

#### LEGEND

#### ISSUE

3	2024-10-04	ISSUED FOR OAKVILLE TOC
2	2024-02-14	ISSUED FOR REZONING



Janet  
Rosenberg  
a Studio

Landscape Architecture and Urban Design  
4 416-598-0555 F 416-598-0768 www.janetrosenberg.com  
146 Kennard Avenue, Toronto Ontario M5E 3S5 Canada

#### TOC DEVELOPMENT

#### COVER

SCALE:  
DRAWN:  
CHECKED:  
PROJECT NUMBER: 23-940  
DRAWING DATE: 2024-10-14

# L001

**NOTES**

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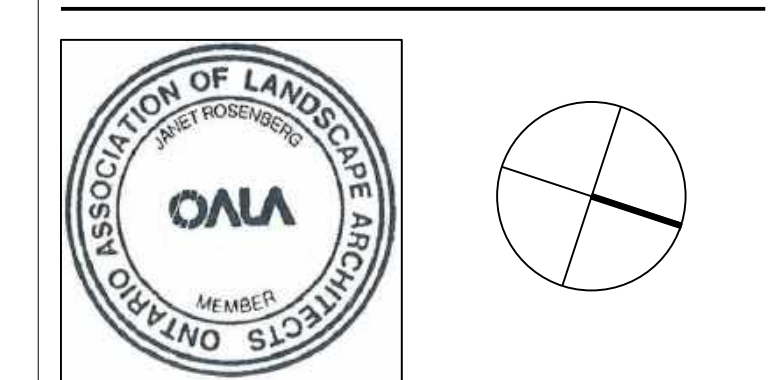
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**LEGEND**

- PROPOSED DECIDUOUS TREE
- PROPOSED DECIDUOUS SHRUB
- TREE GRATE
- PLANTING BED
- 800
- LIGHT DUTY CONCRETE UNIT PAVING
- LIGHT DUTY CONCRETE UNIT PAVING
- BICYCLE PARKING
- CAFE CHAIRS AND TABLE
- PROPOSED BENCH
- SOIL CELL EXTENT
- BUILDING OVERHANG
- PROPERTY LINE

**ISSUE**

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3 2024-10-04 ISSUED FOR OKAVILLE TOC  
2 2024-02-14 ISSUED FOR REZONING  
1 2024-01-15 ISSUED FOR PRE-CONSULTATION



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**TOC DEVELOPMENT**

157-165 CROSS AVENUE  
OKAVILLE, ONTARIO

**GROUND FLOOR LAYOUT PLAN - INTERIM CONDITION**

SCALE: 1:200  
DRAWN: JP  
CHECKED: LR, SG  
PROJECT NUMBER: 23-940  
DRAWING DATE: 2024-01-05

**L100.a**



- SOIL CELL EXTENT
- INTERIM CONDITION CURBS. REFER TO CIVIL.
- PROPOSED BICYCLE PARKING
- HERBACEOUS PLANTING (TYP.) (5) (L501)
- TREE PLANTING IN PUBLIC BOULEVARD USING STRUCTURAL SOIL CELLS (2-3) (L501)
- CIP CONCRETE SIDEWALK AND BOULEVARD (3,7) (L500)
- LIGHT DUTY CONCRETE UNIT PAVING (6) (L500)
- BENCH
- PROPOSED WATERMAIN
- BUILDING OVERHANG
- EXTENT OF PARKING SLAB
- FIRE TRUCK PARKING CLEARANCE
- SOIL CELL EXTENT
- 2.5m PEDESTRIAN CLEARWAY
- TREE PLANTING IN PUBLIC BOULEVARD (TYP.) (1) (L501)
- TREE PLANTING IN PUBLIC BOULEVARD USING STRUCTURAL SOIL CELLS (2-3) (L501)
- EXTENT OF UNDERGROUND SWIM TANK
- CIP CONCRETE SIDEWALK AND BOULEVARD (3,7) (L500)
- BOULEVARD PLANTING
- TACTILE WALKING SURFACE INDICATORS AT SIDEWALK RAMP (4) (L500)
- CONCRETE SIDEWALK RAMPS AT SIGNALIZED INTERSECTIONS (2) (L500)
- PROPOSED STORM SEWER

- EXISTING FIRE HYDRANT
- INTERIM CONDITION CURBS. REFER TO CIVIL.
- EXTENT OF PARKING SLAB
- TYPICAL CROSSSIDE PAVEMENT MARKING DETAIL AT DRIVEWAY WITH IN-BOULEVARD CYCLE TRACK CROSSING (11) (L500)
- BUILDING OVERHANG
- HERBACEOUS PLANTING (TYP.) (5) (L501)
- TREE PLANTING IN PUBLIC BOULEVARD (TYP.) (1) (L501)
- FEATURE UNIT PAVING (9-10) (L500)
- PROPOSED BICYCLE PARKING
- 2.5m PEDESTRIAN CLEARWAY
- CONCRETE CURB (TYP.) (5) (L500)
- EXTENT OF PARKING SLAB - PLANTER SEATWALL 450mm HT
- PERENNIAL PLANTING ON SLAB (6) (L501)
- CIP CONCRETE SIDEWALK AND BOULEVARD (3,7) (L500)
- TACTILE WALKING SURFACE INDICATORS AT SIDEWALK RAMP (4) (L500)
- CONCRETE SIDEWALK RAMPS (2) (L500)

FUTURE LOCAL STREET (N-S)

FUTURE LOCAL STREET (E-W)

TOWER A

TOWER B

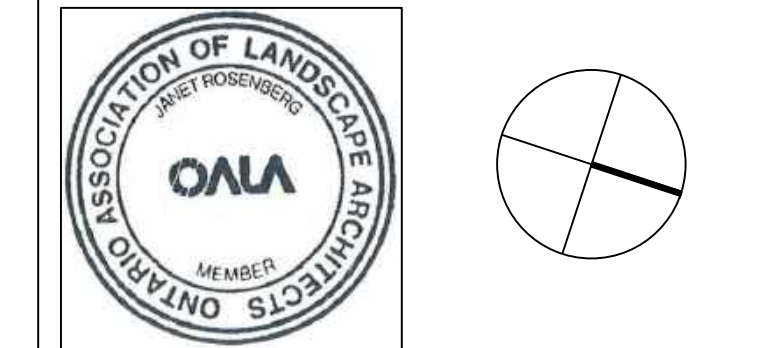
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- LEGEND**
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  - PROPOSED DECIDUOUS SHRUB
  - TREE GRATE
  - PLANTING BED
  - SOD
  - LIGHT DUTY CONCRETE UNIT PAVING
  - LIGHT DUTY CONCRETE UNIT PAVING
  - BICYCLE PARKING
  - CAFE CHAIRS AND TABLE
  - PROPOSED BENCH
  - SOIL CELL EXTENT
  - BUILDING OVERHANG
  - PROPERTY LINE

- ISSUE**
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| 3  | 2024-10-04 ISSUED FOR OKAVILLE TOC     |
| 2  | 2024-02-14 ISSUED FOR REZONING         |
| 1  | 2024-01-15 ISSUED FOR PRE-CONSULTATION |



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**TOC DEVELOPMENT**

157-165 CROSS AVENUE  
 OKAVILLE, ONTARIO

**GROUND FLOOR LAYOUT - ULTIMATE CONDITION**

SCALE: 1:200  
 DRAWN: JP  
 CHECKED: LR, SG  
 PROJECT NUMBER: 23-940  
 DRAWING DATE: 2024-01-05

**L100.b**



- SOIL CELL EXTENT
- ULTIMATE CONDITION CURBS REFER TO CIVIL
- PROPOSED BICYCLE PARKING
- HERBACEOUS PLANTING (TYP.) (5) (L501)
- TREE PLANTING IN PUBLIC BOULEVARD USING STRUCTURAL SOIL CELLS (2,3) (L501)
- CIP CONCRETE SIDEWALK AND BOULEVARD (3,7) (L500)
- LIGHT DUTY CONCRETE UNIT PAVING (6) (L500)
- BENCH
- PROPOSED WATERMAIN
- BUILDING OVERHANG
- EXTENT OF PARKING SLAB
- FIRE TRUCK PARKING CLEARANCE
- SOIL CELL EXTENT
- 2.5m PEDESTRIAN CLEARWAY
- TREE PLANTING IN PUBLIC BOULEVARD (TYP.) (1) (L501)
- TREE PLANTING IN PUBLIC BOULEVARD USING STRUCTURAL SOIL CELLS (2,3) (L501)
- BOULEVARD PLANTING
- EXTENT OF UNDERGROUND SWIM TANK
- CIP CONCRETE SIDEWALK AND BOULEVARD (3,7) (L500)
- TACTILE WALKING SURFACE INDICATORS AT SIDEWALK RAMP (4) (L500)
- CONCRETE SIDEWALK RAMPS AT SIGNALIZED INTERSECTIONS (2) (L500)
- PROPOSED STORM SEWER

- EXISTING FIRE HYDRANT
- EXTENT OF PARKING SLAB
- (11) (L500) TYPICAL CROSSRIDE PAVEMENT MARKING DETAIL AT DRIVEWAY WITH IN-BOULEVARD CYCLE TRACK CROSSING
- BUILDING OVERHANG
- (5) (L501) HERBACEOUS PLANTING (TYP.)
- (1) (L501) TREE PLANTING IN PUBLIC BOULEVARD (TYP.)
- 1m BUFFER
- 2m BIKE LANE
- PROPOSED BICYCLE PARKING
- 2.5m PEDESTRIAN CLEARWAY (5) (L500)
- CONCRETE CURB (TYP.)
- EXTENT OF PARKING SLAB PLANTER SEATWALL 450mm HT (6) (L501)
- PERENNIAL PLANTING ON SLAB (3,7) (L500)
- CIP CONCRETE SIDEWALK AND BOULEVARD (4) (L500)
- TACTILE WALKING SURFACE INDICATORS AT SIDEWALK RAMP (2) (L500)
- CONCRETE SIDEWALK RAMPS (1,8) (L500)

**Development application guidelines** ■ Canopy cover plan and canopy calculation chart

**CANOPY CALCULATION CHART TEMPLATE ON-SITE**

Submit a separate chart for on-site condition and for streetscape (municipal right-of-way)  
 [1] References direction for completing canopy coverage plan and chart

FILE NUMBER \_\_\_\_\_

FILE NAME \_\_\_\_\_

CANOPY COVER TARGET [1] 20 % (based on land use)

Tree #	Species	Stature (S.M.L.) [1]	Soil Volume per Tree (m <sup>3</sup> ) [2]	Canopy Area (m <sup>2</sup> ) [3]	Canopy Area Sub-total (m <sup>2</sup> )
Proposed Canopy On Site					
25-30	TBD	M	30	340.5	
31	TBD	M	30	66	
					Subtotal of proposed canopy
					406.5
Existing Canopy On Site [4]					
					Subtotal of existing canopy
					multiplied by bonus factor of 1.5
Existing Canopy Overhanging Site [4]					
					Subtotal of existing overhanging canopy
					Total # of Trees
					Total Canopy Area (m <sup>2</sup> )
					406.5
<b>Canopy Summary</b>					
Total Site Area					7558 m <sup>2</sup>
Site Canopy Cover					5.4 %
Canopy Cover Target by Land Use [1]					20 %
<b>Parking Area Summary [5]</b>					
Total Parking Spaces Proposed					0
Total # of Trees in or within 5m of Parking Area					0

3 (JUL2018) OAKVILLE

**Development application guidelines** ■ Canopy cover plan and canopy calculation chart

**CANOPY CALCULATION CHART TEMPLATE STREETScape**

Submit a separate chart for on-site condition and for streetscape (municipal right-of-way)  
 [1] References direction for completing canopy coverage plan and chart

FILE NUMBER \_\_\_\_\_

FILE NAME \_\_\_\_\_

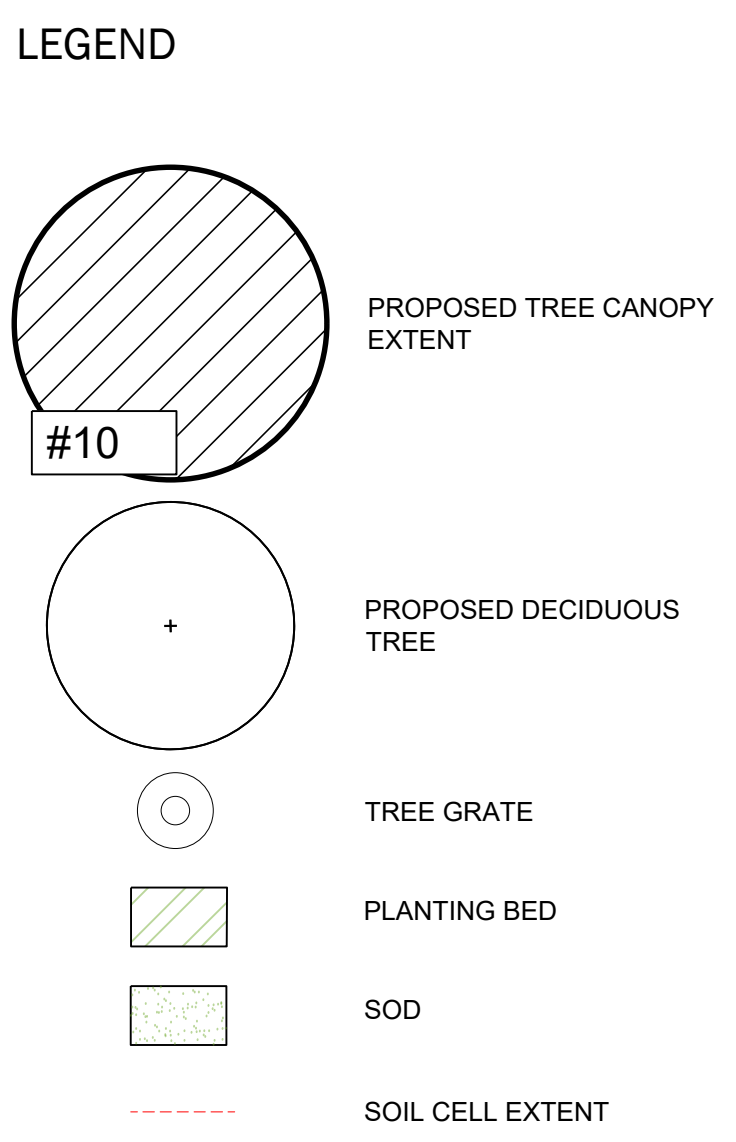
CANOPY COVER TARGET [1] 20 % (based on land use)

Tree #	Species	Stature (S.M.L.) [1]	Soil Volume per Tree (m <sup>3</sup> ) [2]	Canopy Area (m <sup>2</sup> ) [3]	Canopy Area Sub-total (m <sup>2</sup> )
Proposed Canopy On Site					
1-7	TBD	M	30	487	
8-12	TBD	M	30	340	
13-15	TBD	M	30	184	
16-18	TBD	M	30	210	
19-20	TBD	M	30	149	
21	TBD	M	30	78.5	
22-25	TBD	L	30	508	
					Subtotal of proposed canopy
					1936.5
Existing Canopy On Site [4]					
					Subtotal of existing canopy
					multiplied by bonus factor of 1.5
Existing Canopy Overhanging Site [4]					
					Subtotal of existing overhanging canopy
					Total # of Trees
					Total Canopy Area (m <sup>2</sup> )
					1936.5
<b>Canopy Summary</b>					
Total Site Area					7558 m <sup>2</sup>
Site Canopy Cover					26 %
Canopy Cover Target by Land Use [1]					20 %
<b>Parking Area Summary [5]</b>					
Total Parking Spaces Proposed					0
Total # of Trees in or within 5m of Parking Area					0

3 (JUL2018) OAKVILLE



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**ISSUE**

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2	2024-10-04 ISSUED FOR OAKVILLE TOC
1	2024-02-16 ISSUED FOR REVIEW



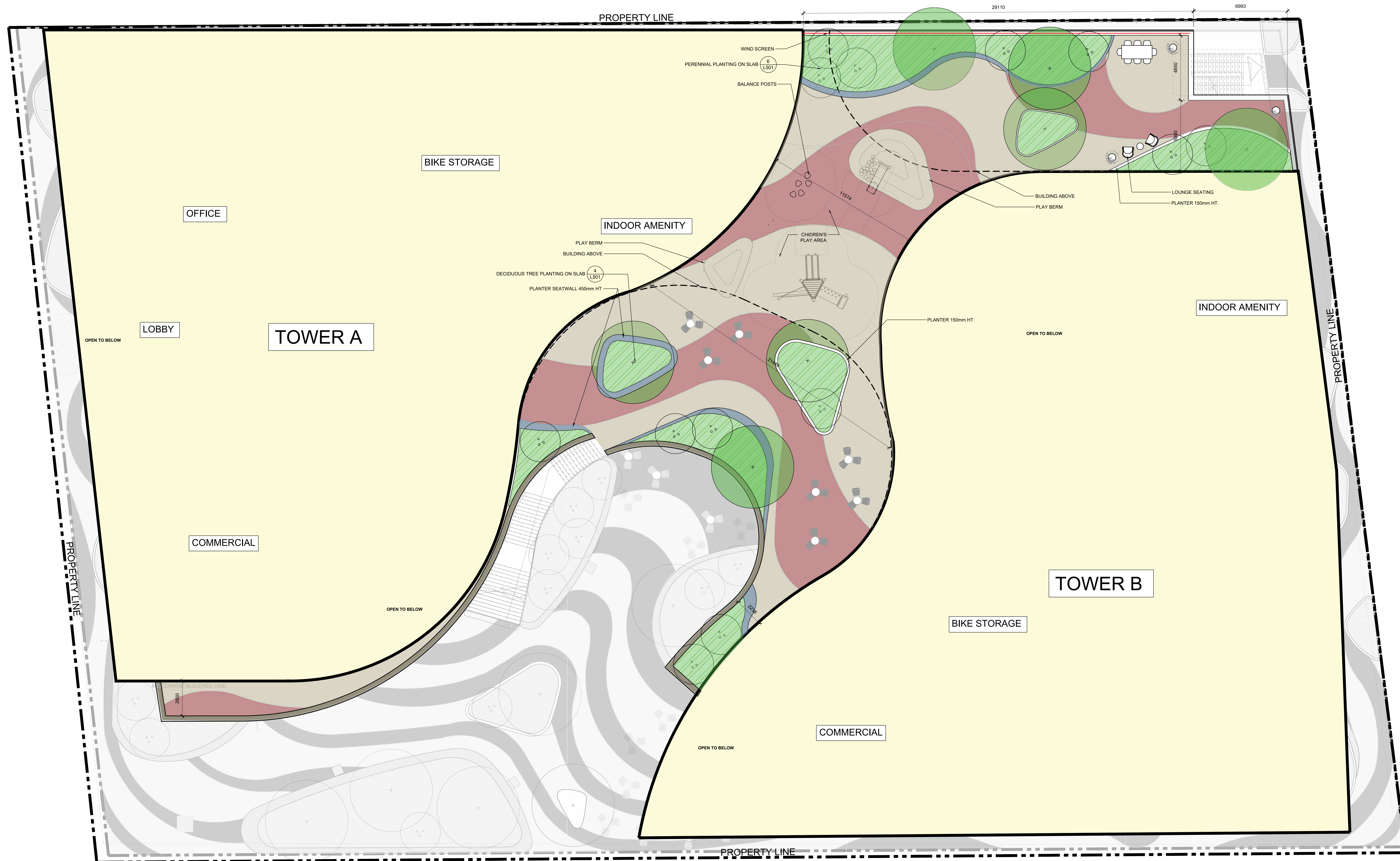
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**TOC DEVELOPMENT**

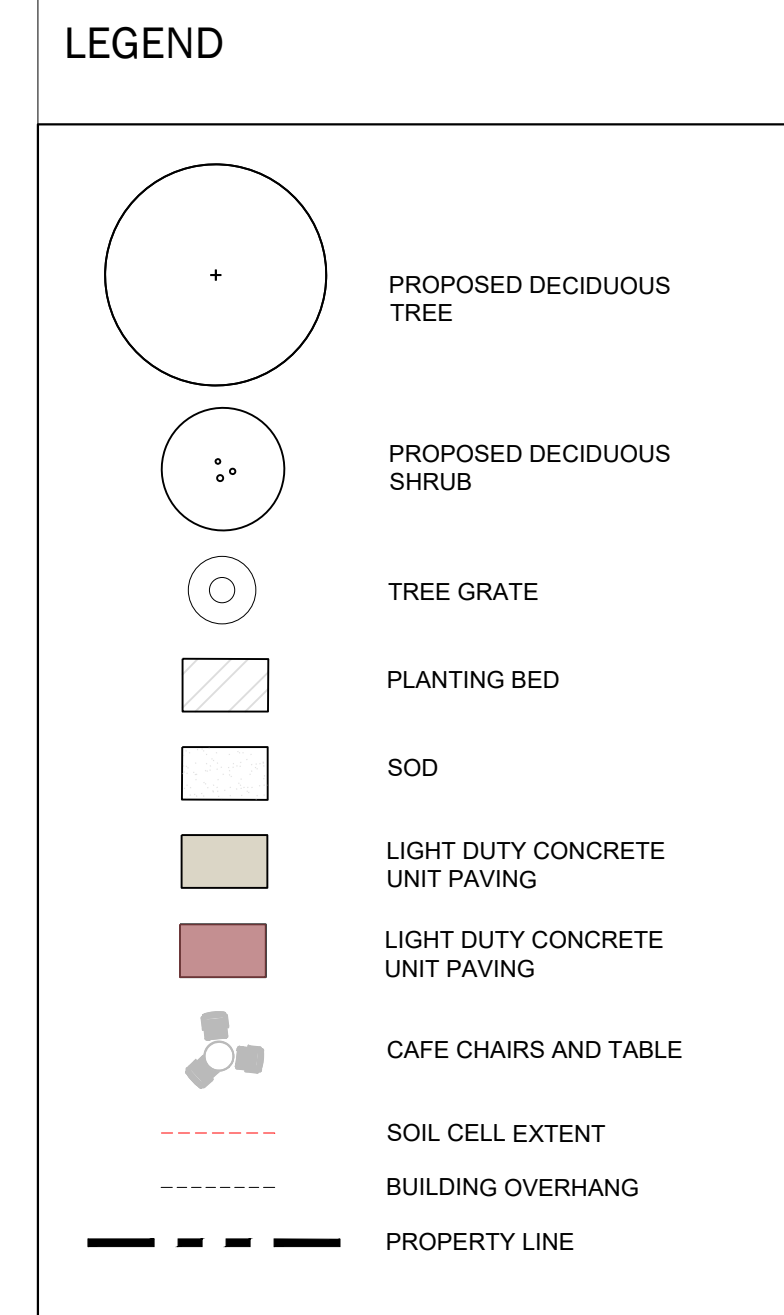
157-165 CROSS AVENUE  
 OAKVILLE, ONTARIO

**SOIL VOLUME AND CANOPY COVER PLAN**

SCALE: 1:200  
 DRAWN: JP  
 CHECKED: LR, SG  
 PROJECT NUMBER: 23-940  
 DRAWING DATE: 2023-09-12



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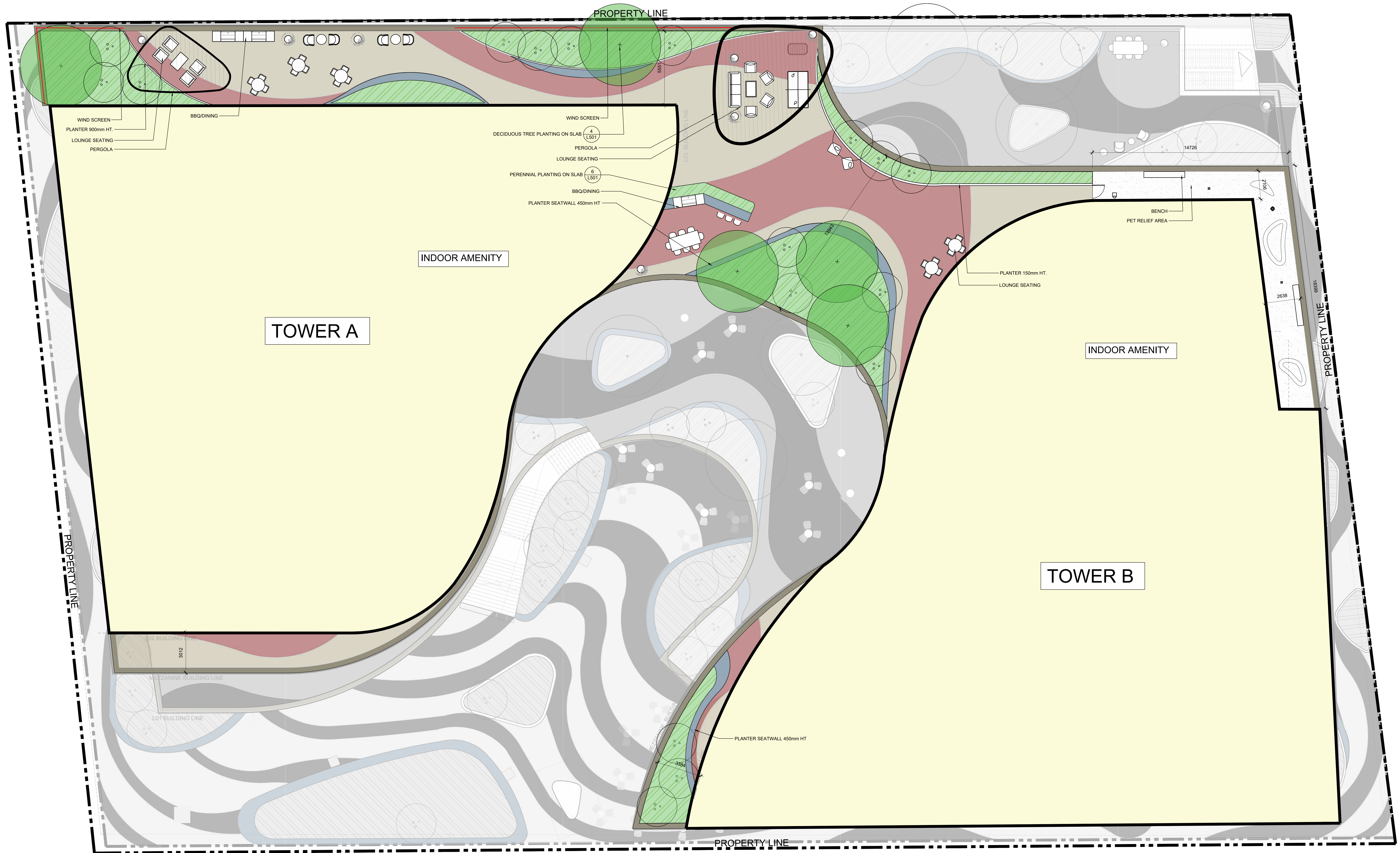
**TOC DEVELOPMENT**

157-165 CROSS AVENUE  
 OKAVILLE, ONTARIO

**L02 AMENITY TERRACE PLAN**

SCALE: 1:100  
 DRAWN: JP  
 CHECKED: LR, SG  
 PROJECT NUMBER: 23-040  
 DRAWING DATE: 2024-02-20

**L102**



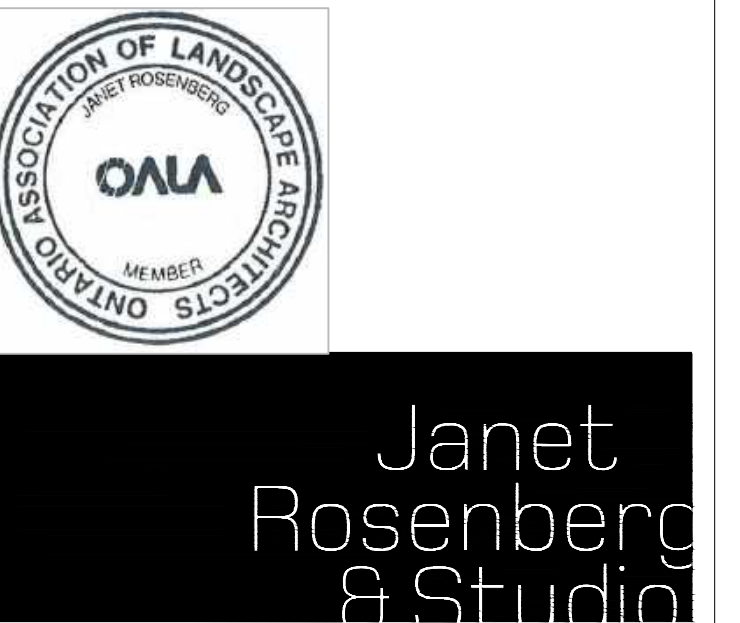
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**LEGEND**

	PROPOSED DECIDUOUS TREE
	PROPOSED DECIDUOUS SHRUB
	TREE GRATE
	PLANTING BED
	SOD
	LIGHT DUTY CONCRETE UNIT PAVING
	LIGHT DUTY CONCRETE UNIT PAVING
	CAFE CHAIRS AND TABLE
	SOIL CELL EXTENT
	BUILDING OVERHANG
	PROPERTY LINE

**ISSUE**

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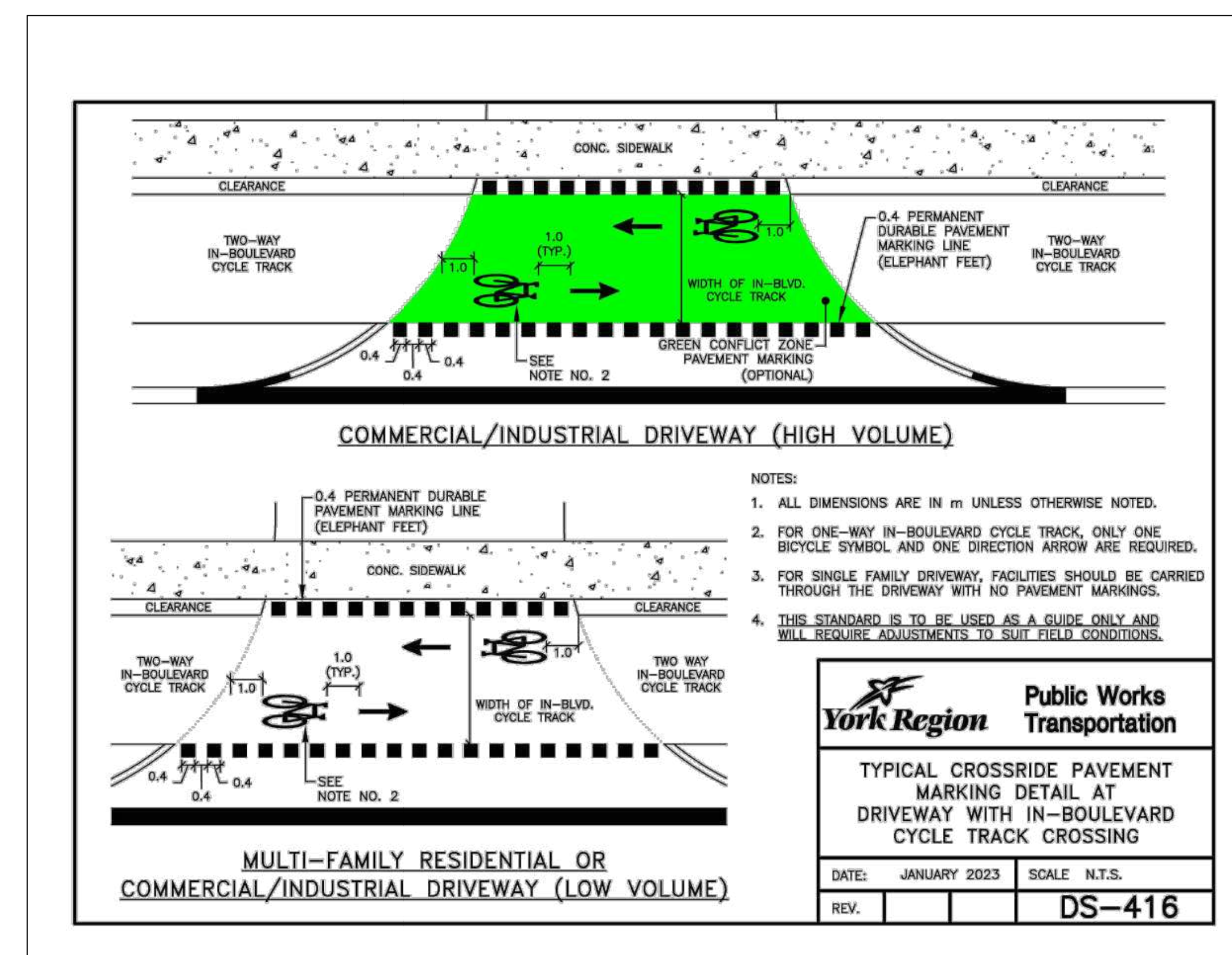
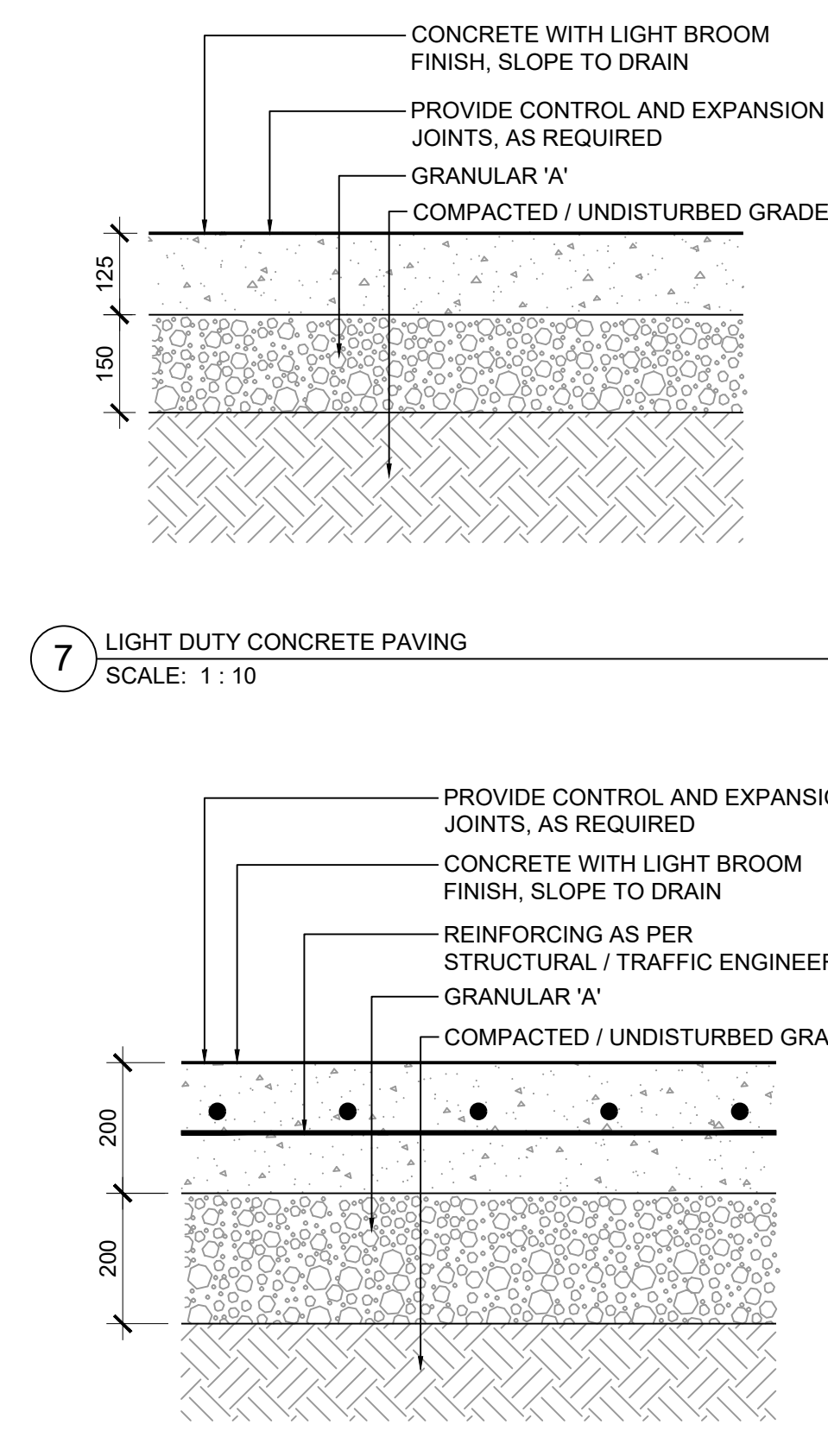
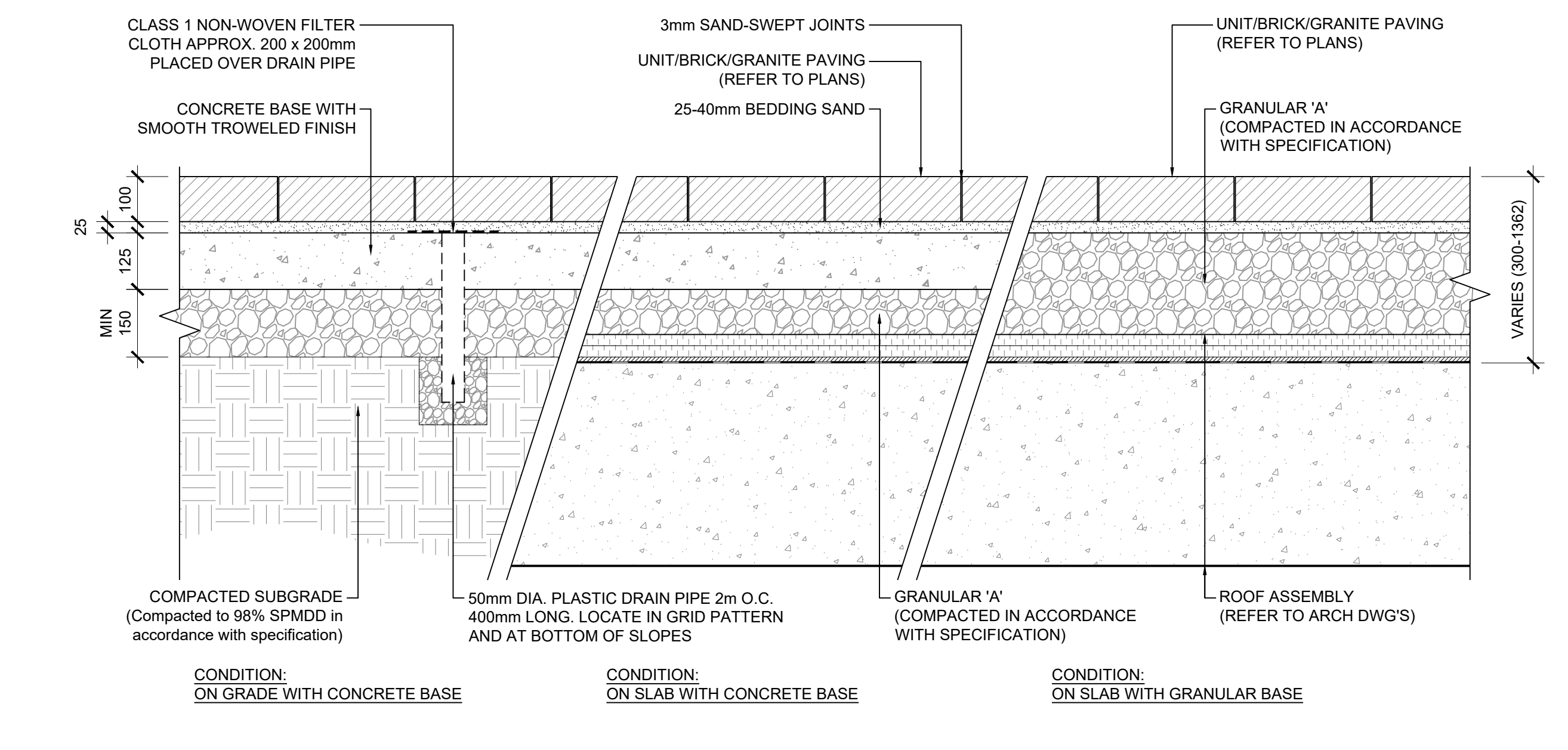
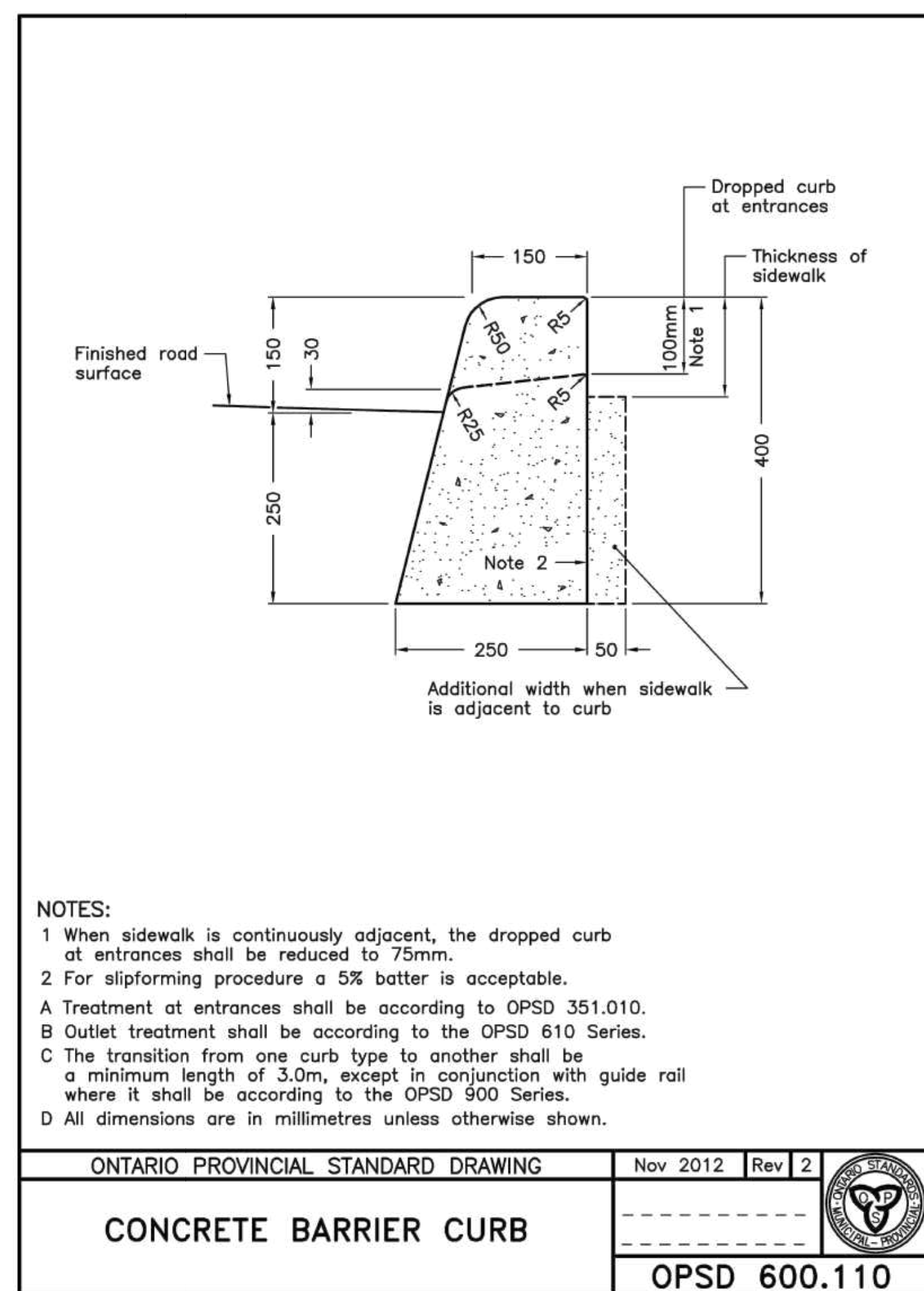
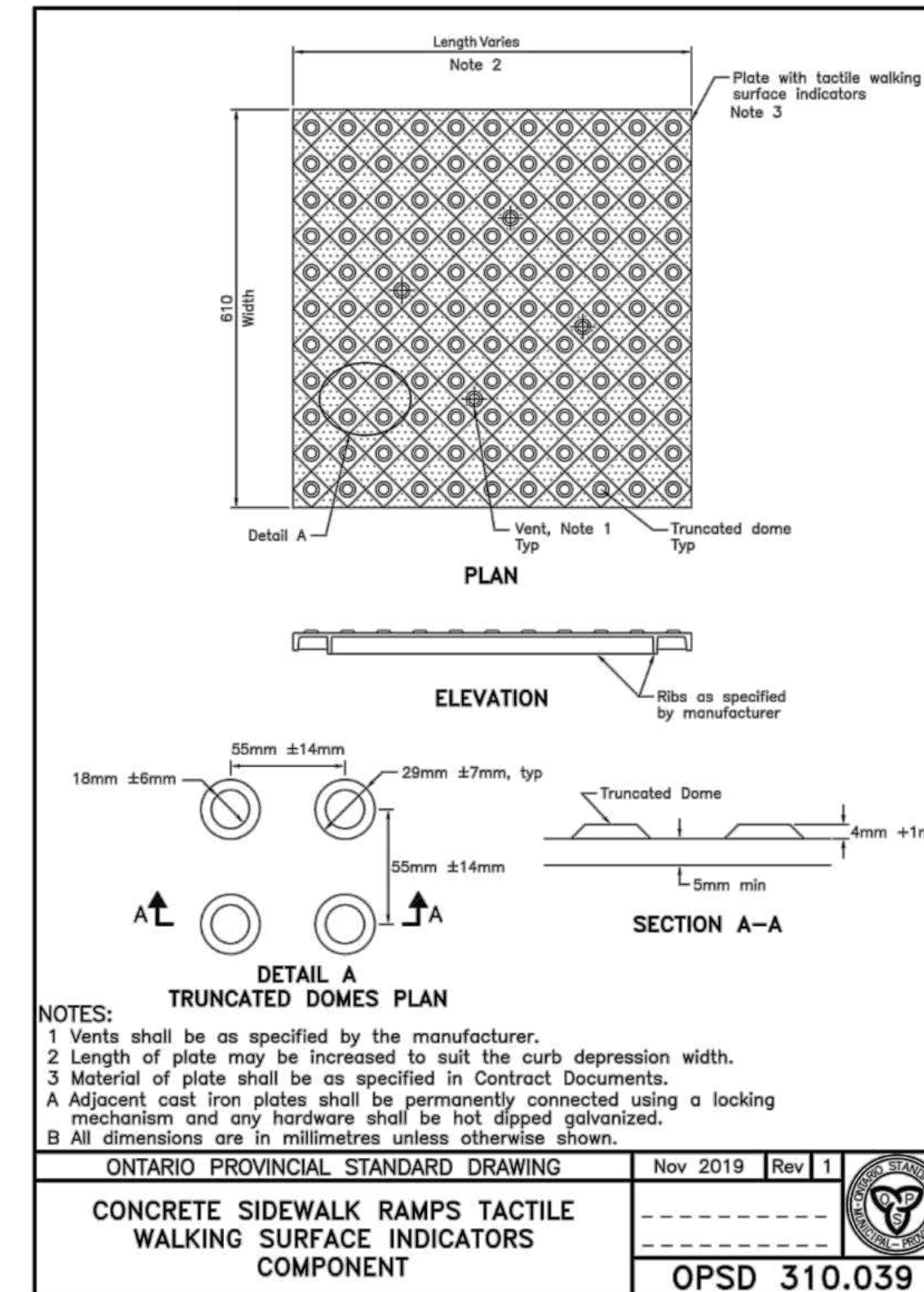
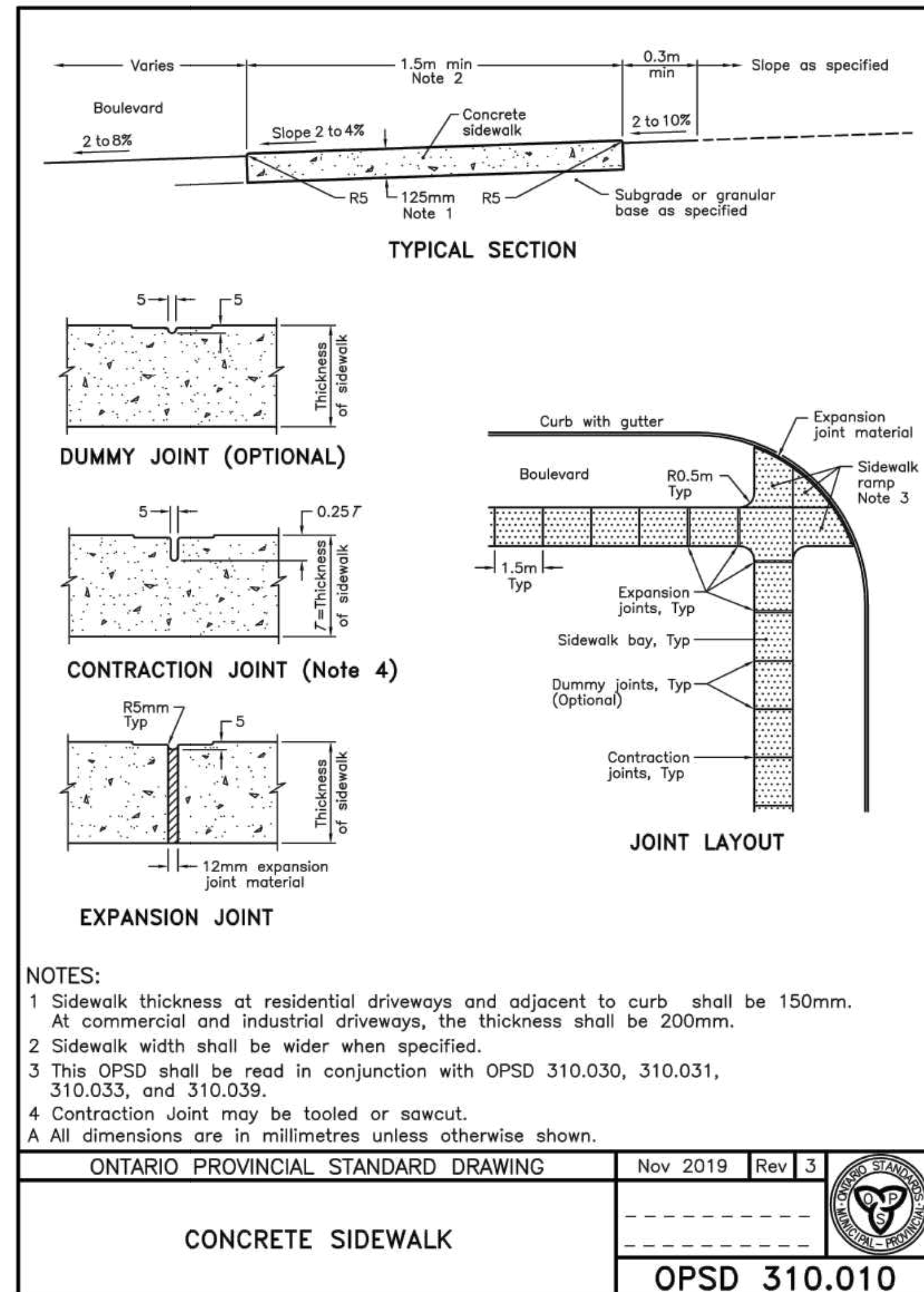
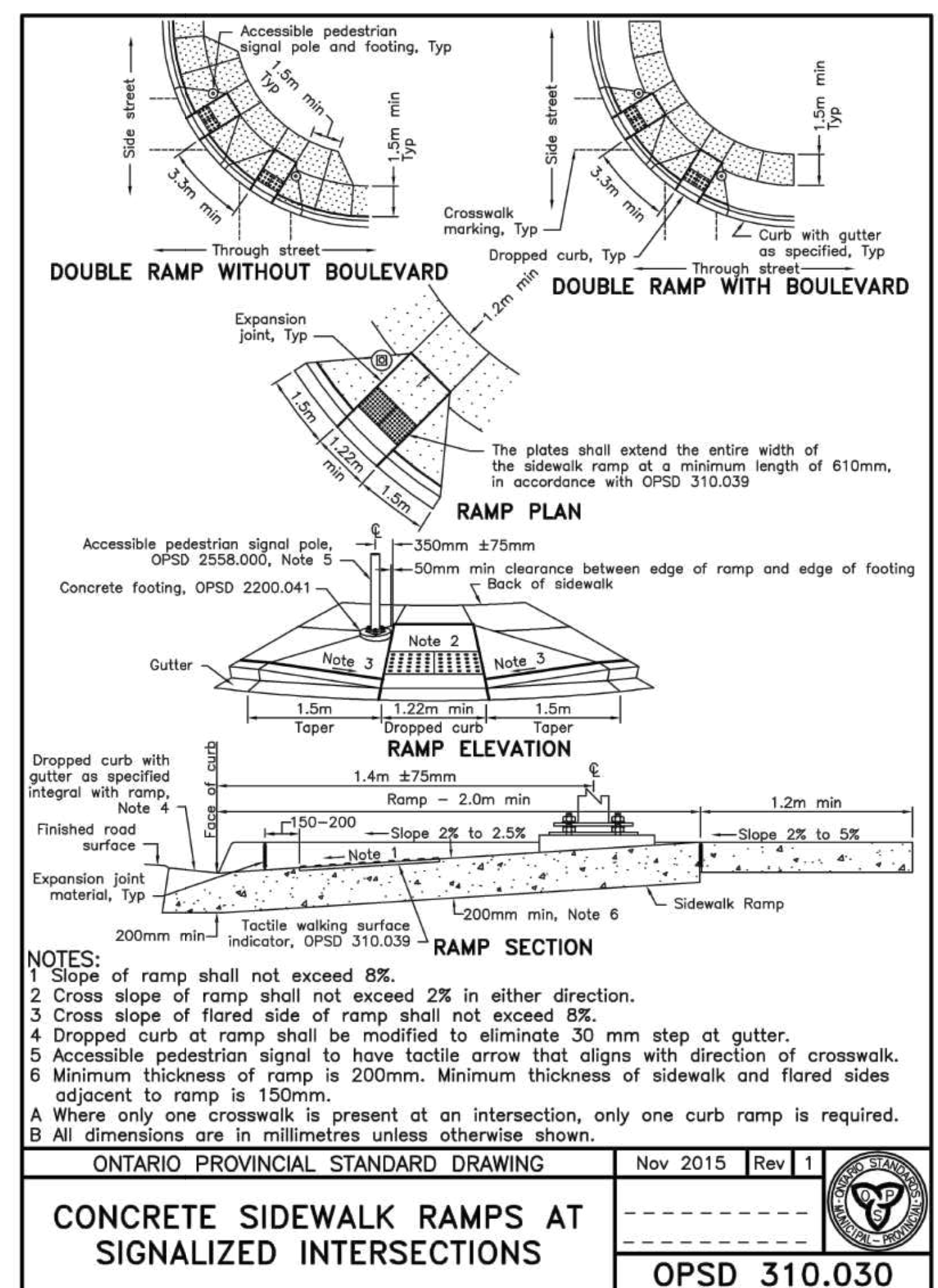
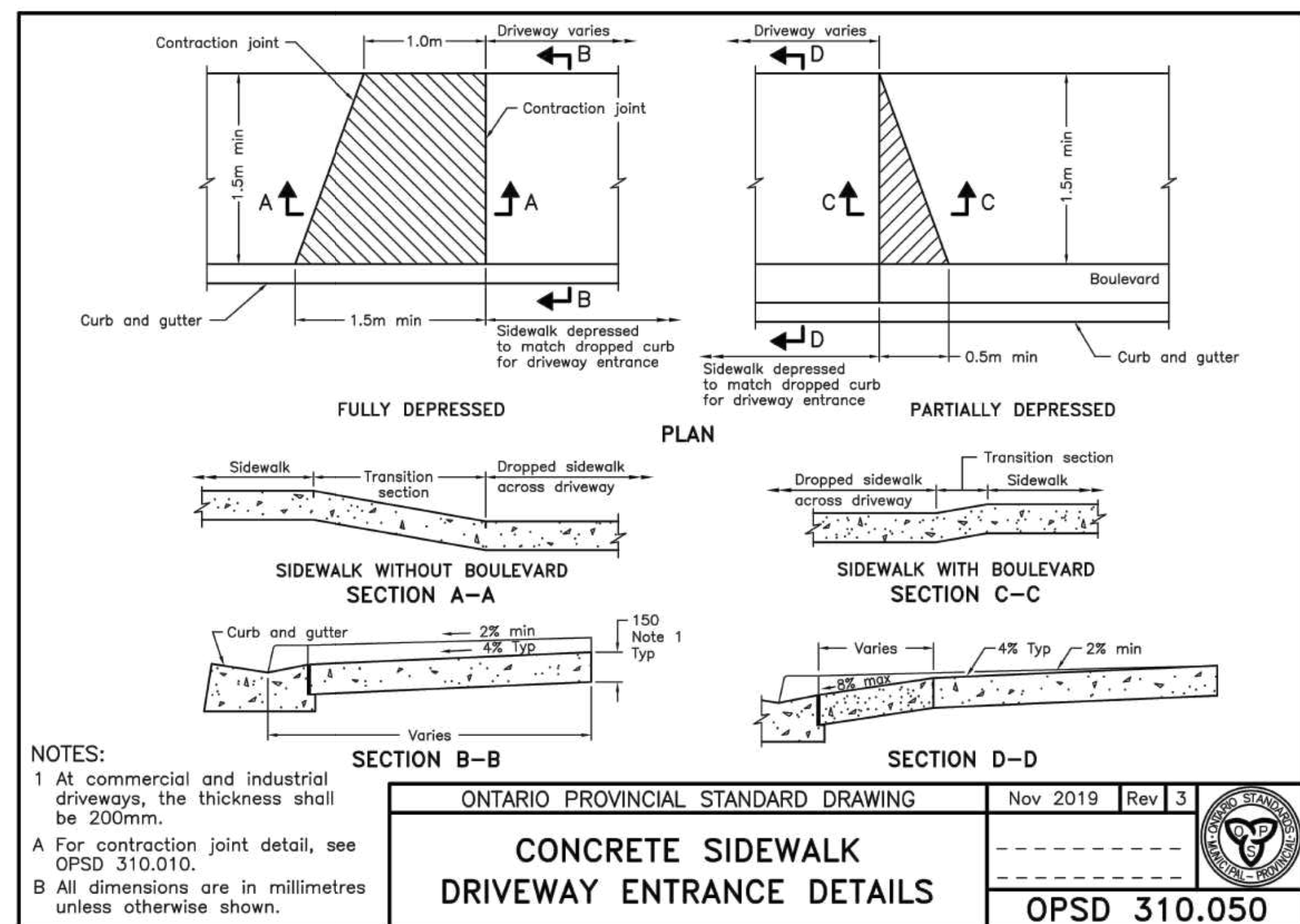


**TOC DEVELOPMENT**

157-165 CROSS AVENUE  
OKAVILLE, ONTARIO

**L03 AMENITY TERRACE PLAN**

SCALE: 1:100  
DRAWN: JP  
CHECKED: LR, SG  
PROJECT NUMBER: 23-040  
DRAWING DATE: 2024-02-20



**Eterna 100mm**

**Pavers:** Eterna, Luna and Cloudburst  
**Stone:** Bessley, Columbia, Dove  
**Clay:** Brick, Ridge, Grey, Red

PRODUCT THICKNESS	DRIVEWAY	PARKING LOT	RESIDENTIAL ROAD	MAIN STREET	EMERGENCY ROUTE	INDUSTRIAL AREA	EMERGENCY
100x100 Stone	✓	✓	✓	✓	✓	✓	✓
100x400 Stone	✓	✓	✓	✓	✓	✓	✓
200x600 Stone	✓	✓	✓	✓	✓	✓	✓
400x600 Stone	✓	✓	✓	✓	✓	✓	✓

**Special Order**  
Minimum quantities apply. Speak with your Data Desk/Representative for details.

100x100 Stone 3.94 x 11.81" (100 x 100mm) Individually Packaged	100x400 Stone 3.94 x 15.75" (100 x 400mm) Individually Packaged	200x600 Stone 7.87 x 23.62" (200 x 600mm) Individually Packaged	400x600 Stone 15.75 x 23.62" (400 x 600mm) Individually Packaged
--	--	--	---

**NOTE:** When ordering Eterna, try to secure product from a single batch lot to reduce the risk of variability. Colour and tonal consistency between different sizes and batch lots cannot be guaranteed.

**ETERNA UNIT PAVER**  
SCALE: NTS

**Packaging Specs**

ETERNA 100mm	BUNDLE SPECIFICATIONS				PER SECTION SPECIFICATIONS				
	LAYERS	SO. FT.	LN. FT.	PIECES	WEIGHT	SECTIONS SQ. FT.	LN. FT.	PIECES	WEIGHT
100x100 Stone	6	64	65 (partial)	198	2970	Layer 1: 10.7	14.5 (partial)	33	497
100x400 Stone	6	57	43.3 (partial)	132	2684	Layer 1: 9.5	7.2 (partial)	22	447
200x600 Stone	6	62	31.5 (partial)	98	2889	Layer 1: 10.3	5.3 (partial)	8	481
400x600 Stone	5	64.6	32.8 (partial)	25	3012	Layer 1: 12.9	6.8 (partial)	5	602

**Recommended Uses**

PRODUCT THICKNESS	DRIVEWAY	PARKING LOT	RESIDENTIAL ROAD	MAIN STREET	EMERGENCY ROUTE	INDUSTRIAL AREA	EMERGENCY
100x100 Stone	✓	✓	✓	✓	✓	✓	✓
100x400 Stone	✓	✓	✓	✓	✓	✓	✓
200x600 Stone	✓	✓	✓	✓	✓	✓	✓
400x600 Stone	✓	✓	✓	✓	✓	✓	✓

**Special Order**  
Minimum quantities apply. Speak with your Data Desk/Representative for details.

100x100 Stone	100x400 Stone	200x600 Stone	400x600 Stone
---------------	---------------	---------------	---------------

**NOTE:** Product representations shown in this publication are intended to convey the general colour, texture and appearance of the product. Variations may occur in the manufacturing and printing process. Always select from current physical product samples.

**ETERNA UNIT PAVER**  
SCALE: NTS

**Hanover® Prest® Pavers | STANDARD COLORS WITH TUDOR® FINISH**

The eight standard colors shown are available in a wide range of power sizes and thicknesses. Custom color blending can be accommodated, as well as custom aggregate blending. Hanover's Tudor® finish is an architectural feature which gives the surface a granite-like appearance. It is a surface equally suited to urban and municipal projects.

Quarry Red	Charcoal	Natural*	Red 15	Tan	Brown	Cream	Limestone Grey
------------	----------	----------	--------	-----	-------	-------	----------------

**Prest® Paver Product Data | CUSTOM COLORS WITH GROUND FINISH**

Texture is as important to the appearance of the installation as color and pattern. Hanover's Ground finish provides a smooth surface revealing the aggregates beneath. Custom color and aggregate blending is available when quantities permit.

Super Block	Matrix #1111	Matrix #1171	Matrix #1049	Matrix #1185	Matrix #1109	Matrix #1151	Matrix #1240
-------------	--------------	--------------	--------------	--------------	--------------	--------------	--------------

**SLATEFACE® PREST® PAVER COLORS**

The Slateface® Paver has been designed to reproduce the texture, color and appearance of natural slate. Stocked in Hanover's BlueStone and Tennessee Flagstone colors. Its irregular top surface was developed from actual sections of stone.

BlueStone (M2374)	Tennessee Flagstone (M2374)	Matrix #1428	Matrix #1175	Matrix #2127	Matrix #1914
-------------------	-----------------------------	--------------	--------------	--------------	--------------

**NOTE:** The color photos shown in this publication are intended to convey the general color, texture and appearance of the product. Variations may occur in the manufacturing and printing process. Always select from current physical product samples.

**HANOVER UNIT PAVER**  
SCALE: NTS

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**LEGEND**

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2024-10-04 ISSUED FOR OKAVILLE TOC  
2024-02-14 ISSUED FOR REZONING  
2024-01-15 ISSUED FOR PRE-CONSULTATION

**ISSUE**

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2024-10-04 ISSUED FOR OKAVILLE TOC  
2024-02-14 ISSUED FOR REZONING  
2024-01-15 ISSUED FOR PRE-CONSULTATION

**ASSOCIATION OF LANDSCAPE ARCHITECTS OF ONTARIO**

**Janet Rosenberg & Studio**

Landscape Architecture and Urban Design  
4144 SHEPPARD AVE. E. #104 (at Midland) SCARBOROUGH, ONTARIO  
148 RAVENHILL AVENUE, TORONTO, ONTARIO M5S 2S3 CANADA

**TOC DEVELOPMENT**

157-165 CROSS AVENUE  
OKAVILLE, ONTARIO

**LANDSCAPE DETAILS**

SCALE: AS SHOWN  
DRAWN: LR  
CHECKED: GH  
PROJECT NUMBER: 23-940  
DRAWING DATE: 2023-09-12

**L500**





# GROUND FLOOR



1 FEATURE UNIT PAVING  
SCALE: NTS



2 450mm HT. SEATWALL PLANTERS  
SCALE: NTS



3 150mm HT. PLANTERS  
SCALE: NTS



4 STREETScape  
SCALE: NTS



5 FLEXIBLE SEATING IN COURTYARD  
SCALE: NTS

# AMENITY LEVEL 2



6 CHILDREN PLAY AREA  
SCALE: NTS

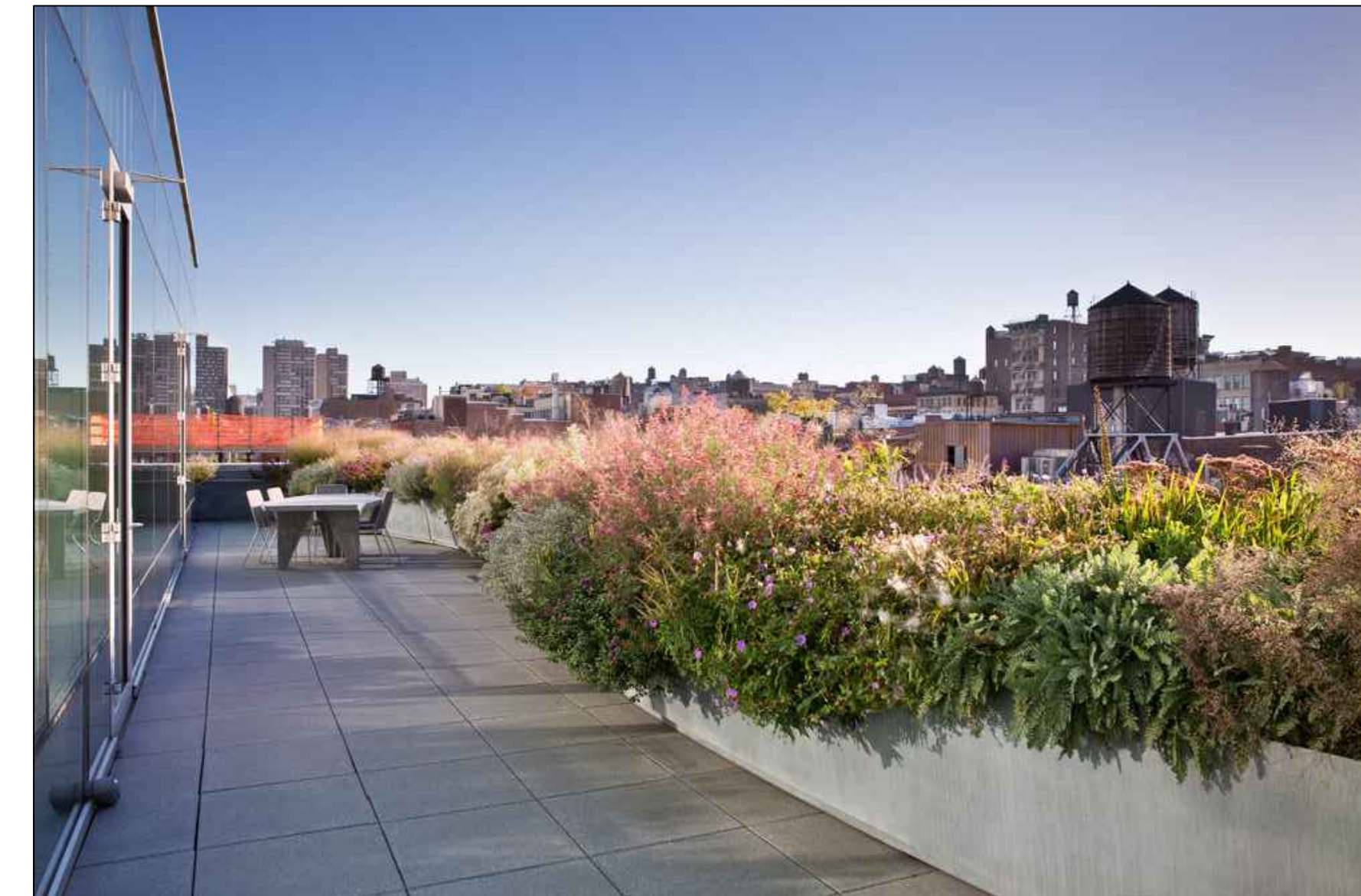


7 450mm HT. PLANTER  
SCALE: NTS



8 450mm HT. SEATWALL PLANTER  
SCALE: NTS

# AMENITY LEVEL 3



9 450mm HT. PLANTER  
SCALE: NTS



10 450mm HT. SEATWALL PLANTER  
SCALE: NTS



11 PERGOLA  
SCALE: NTS



12 DOG RELIEF AREA  
SCALE: NTS



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## LEGEND

## ISSUE

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2024-10-04 ISSUED FOR OAKVILLE TOC



Janet Rosenberg & Studio

Landscape Architecture and Urban Design  
4 1616 1016 8888 # 416 888 1716 www.jrlandscaping.com  
148 Roswell Avenue, Toronto Ontario M6C 3S3 Canada

## TOC DEVELOPMENT

157-165 CROSS AVENUE

OAKVILLE, ONTARIO

## LANDSCAPE PRECEDENTS

SCALE: AS SHOWN  
DRAWN: LR  
CHECKED: GH  
PROJECT NUMBER: 23-040  
DRAWING DATE: 2023-09-12

L502

# 166 South Service Road E

OAKVILLE TOC SUBMISSION  
SEPTEMBER 20<sup>th</sup>, 2024

## DRAWING SCHEDULE:

SHEET	DRAWING
L-1.1	Tree Protection Plan
L-1.2	Tree Protection Plan (Inventory)
L-2.1	Concept Landscape Plan
L-2.2	Concept Landscape Precedents
L-3.1	Canopy Cover Plan

CLIENT:

TOC DEVELOPMENT  
1-90 Wingold Ave  
Toronto, ON

CONSULTANT:

**adesso design inc.**  
landscape architecture



69 John Street, Suite #250  
Hamilton, ON L8N 2B9  
t. 905.526.8876  
www.adessodesigninc.ca







CENTRAL POPS PRECEDENTS



SCULPTURE GARDEN (City Garden Sculpture Park - St. Louis, MO.)



S2 by Santiago Calatrava



CENTRAL PLAZA SPACE



PLAZA SPACE WITH RAISED PLANTING AND BUILT-IN SEATING



TIERED AMPHITHEATER



ANGULAR SPACES AND PLANTING BEDS



FLEXIBLE TURF WITH SEATING



PLAZA SPACE WATER FEATURE



PERGOLA



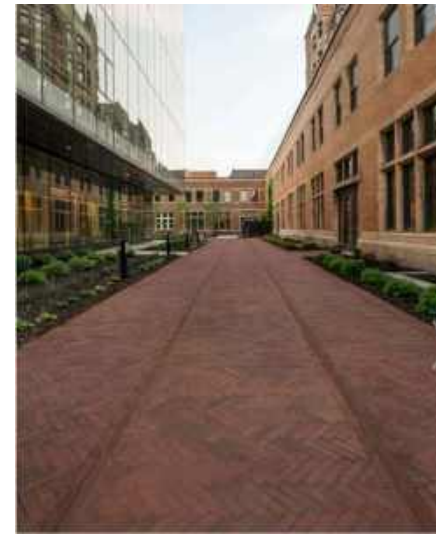
SCULPTURAL PLAYGROUND



ENHANCED PEDESTRIAN THROUGHWAY



NEUTRAL PAVING THROUGHOUT PLAZA



UNIQUE PAVING IN MAIN PEDESTRIAN THROUGHWAY



WINDSCREENS

STREETSCAPE PRECEDENTS



FEATURE PAVING AT LOBBY AND RETAIL ENTRANCES



NEUTRAL PAVING THROUGHOUT STREETSCAPE



BIKE RACKS



BUILT IN SEATING



ANGULAR CONCRETE PLANTERS



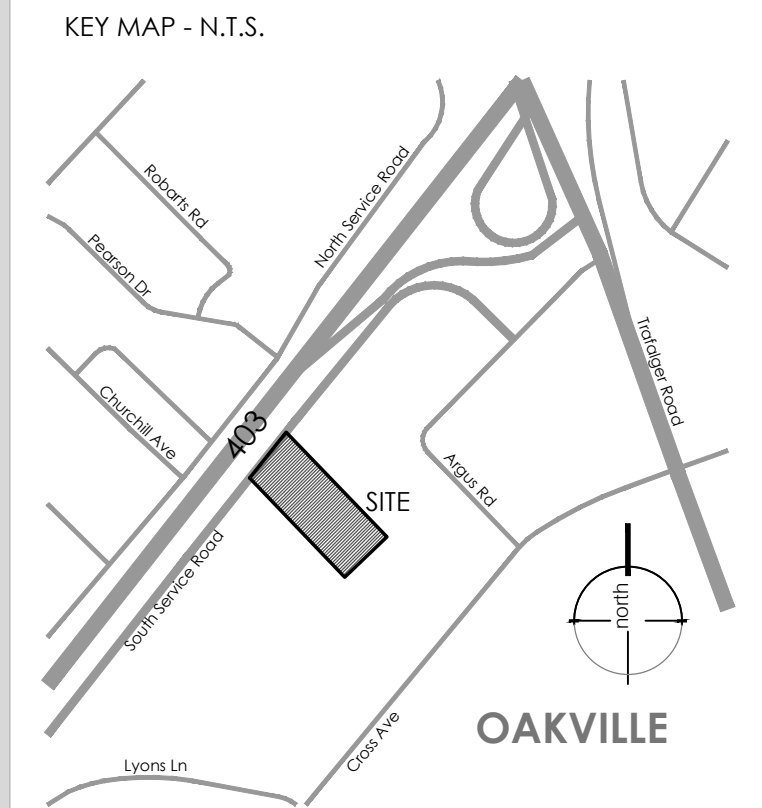
FREE STANDING BENCH



STREET TREES AND SEATING



MASS LINEAR PLANTING



LEGEND

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW & COMMENTS ONLY

#	DATE	DESCRIPTION
1	2022-05-26	Issued for ZBA 1
2	2023-12-05	Issued for ZBA 2
3	2024-03-26	Issued for ZBA 3
4	2024-09-20	Oakville TOC



CLIENT  
TOC Development  
MUNICIPALITY  
Town of Oakville  
PROJECT  
166 South Service Road E  
Oakville, Ontario

MUNICIPAL FILE NUMBER  
SHEET  
Concept Landscape  
Precedents **L-2.2**

adesso design inc.  
landscape architecture

69 John Street, Suite #250  
Hamilton, ON L8N 2B9  
1.905.526.8876  
www.adessodesigninc.ca



**ISSUED FOR OAKVILLE TOC**



**217-227 CROSS AVE & 571 ARGUS RD, OAKVILLE**

**DRAWING LIST:**

**LANDSCAPE**

- L001 COVER
- L100A INTERIM GROUND FLOOR LAYOUT & STREETScape PLAN
- L100B ULTIMATE GROUND FLOOR LAYOUT & STREETScape PLAN
- L101 SOIL VOLUME & CANOPY COVER PLAN
- L102 2ND FLOOR AMENITY TERRACE PLAN
- L107 7TH FLOOR AMENITY TERRACE PLAN
- L108 8TH FLOOR AMENITY TERRACE PLAN
- L500 DETAILS
- L501 DETAILS
- L502 DETAILS
- L503 DETAILS
- L504 PRECEDENT IMAGES

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**LEGEND**

**ISSUE**

- 3 2024-10-04 ISSUED FOR OAKVILLE TOC
- 2 2023-03-27 ISSUED FOR SPA
- 1 2024-03-27 ISSUED FOR REZONING



**Janet Rosenberg & Studio**  
Landscape Architecture and Urban Design

4 101-108-10000 # 416-836-0768 www.jrostudio.com  
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**COVER**

SCALE:  
DRAWN:  
CHECKED:  
PROJECT NUMBER: 21-006  
DRAWING DATE: 2022-09-22

**L001**

**DEVELOPER**

Distrikt Capital Corp.  
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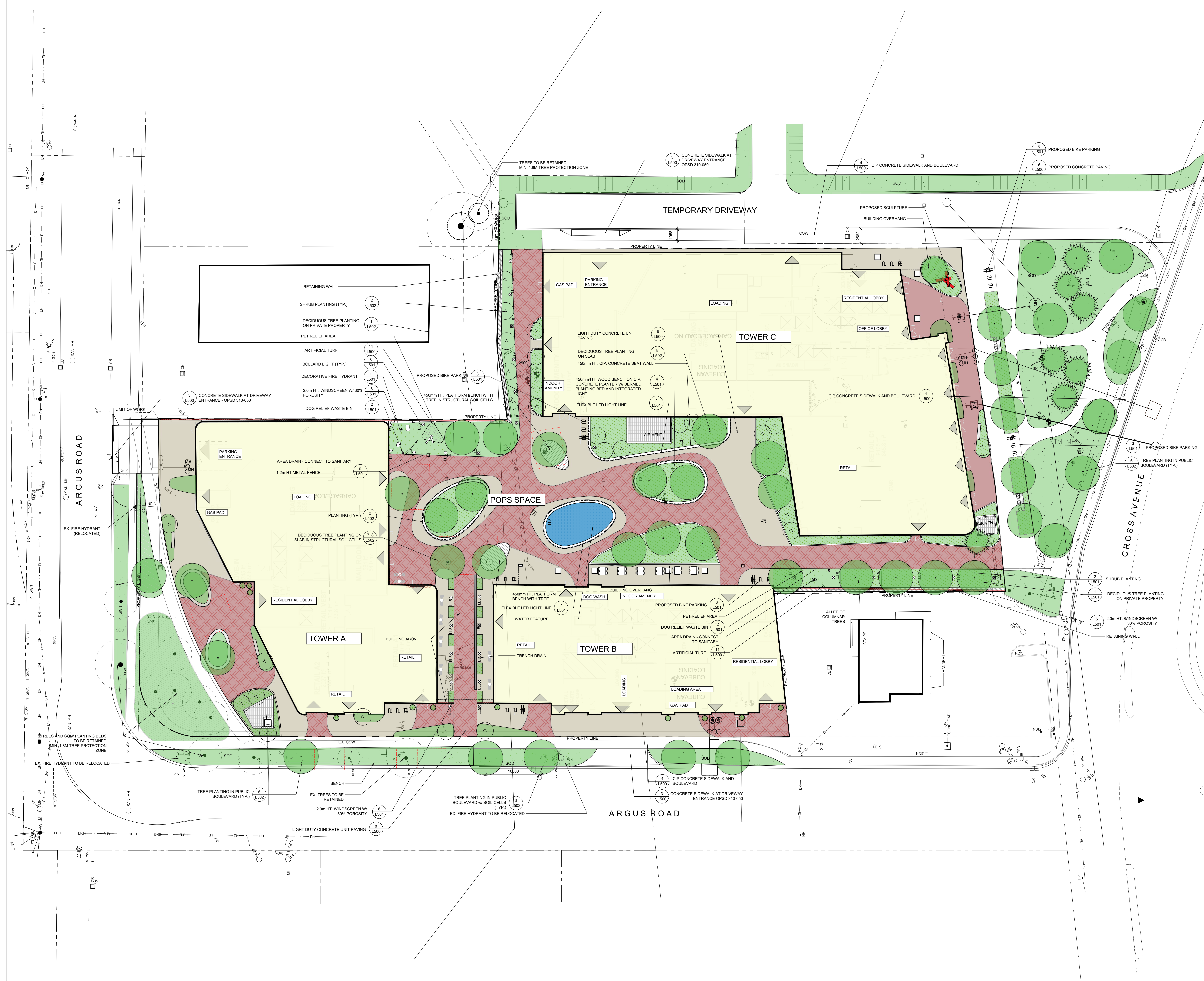
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Guelph, ON N1R 8J8  
T: 519.823.1311 x2445  
Contact: Scott Bell  
Email: scott.bell@rwdi.com

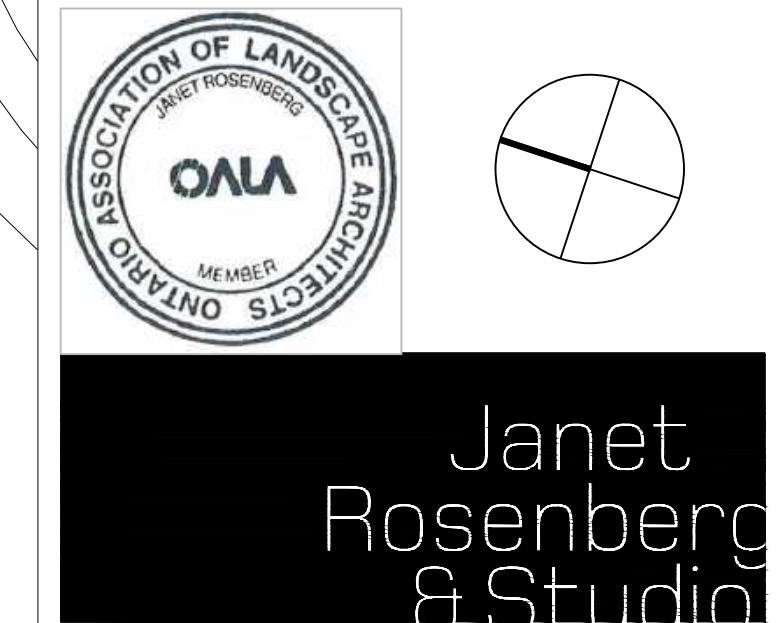




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- LEGEND**
- PROPOSED DECIDUOUS TREE
  - PROPOSED CONIFEROUS TREE
  - EXISTING TREE TO BE RETAINED
  - EXTENT OF SOIL CELLS
  - REQUIRED TREE PROTECTION ZONE
  - ARTIFICIAL TURF
  - SOD
  - PLANTING BED
  - LIGHT DUTY CONCRETE UNIT PAVING
  - FEATURE PAVING
  - WATER FEATURE
  - BICYCLE PARKING
  - CAFE CHAIRS AND TABLE
  - SEAT BENCH
  - TREE PIT WITH GRATE
  - SCULPTURAL SEATING
  - LL5 BOLLARD LIGHT
  - L2 RECESSED STRIP LIGHTING
  - WIND SCREEN

- ISSUE**
- 10
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- 2024-10-04 ISSUED FOR DANVILLE TOC  
 2024-03-27 ISSUED FOR SPA  
 2024-03-27 ISSUED FOR REZONING  
 2022-05-09 ISSUED FOR REZONING  
 2022-03-18 ISSUED FOR COORDINATION



**TOC DEVELOPMENT**

**CROSS AVENUE & ARGUS ROAD**  
DANVILLE, ONTARIO

**GROUND FLOOR LAYOUT & STREETScape PLAN - INTERIM CONDITION**

SCALE: 1:200  
 DRAWN: JP  
 CHECKED: SGLR  
 PROJECT NUMBER: 21-026  
 DRAWING DATE: 2024-11-20

**L100A**



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**LEGEND**

- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- EXISTING TREE TO BE RETAINED
- EXTENT OF SOIL CELLS
- REQUIRED TREE PROTECTION ZONE
- ARTIFICIAL TURF
- SOIL
- PLANTING BED
- LIGHT DUTY CONCRETE UNIT PAVING
- FEATURE PAVING
- WATER FEATURE
- BICYCLE PARKING
- CAFE CHAIRS AND TABLE
- SEAT BENCH
- TREE PIT WITH GRATE
- SCULPTURAL SEATING
- LL5 BOLLARD LIGHT
- L2 RECESSED STRIP LIGHTING
- WIND SCREEN

**ISSUE**

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5	2024-10-04 ISSUED FOR DANVILLE TOC
4	2024-03-27 ISSUED FOR SPA
3	2024-03-27 ISSUED FOR REZONING
2	2022-05-09 ISSUED FOR REZONING
1	2022-03-18 ISSUED FOR COORDINATION



**Janet Rosenberg & Studio**  
 Landscape Architecture and Urban Design  
 # 103-898-8888 # 416-949-1716 www.janetrosenberg.com  
 148 Roswell Avenue, Toronto Ontario M6C 2B3 Canada

**TOC DEVELOPMENT**

**CROSS AVENUE & ARGUS ROAD**  
 DANVILLE, ONTARIO

**GROUND FLOOR LAYOUT & STREETSCAPE PLAN - ULTIMATE CONDITION**

SCALE: 1:200  
 DRAWN: JP  
 CHECKED: SGLR  
 PROJECT NUMBER: 21-026  
 DRAWING DATE: 2024-11-20

**L100B**

Development application guidelines ■ Canopy cover plan and canopy calculation chart

### CANOPY CALCULATION CHART TEMPLATE ON-SITE

Submit a separate chart for on-site condition and for streetscape (multiple right-of-way)

FILE NUMBER: \_\_\_\_\_

FILE NAME: \_\_\_\_\_

CANOPY COVER TARGET [1] 20 % (based on land use)

Tree #	Species	Stature (S,M,L) [2]	Minimum Soil Volume per Tree (m³) [3]	Canopy Area (m²) [4]	Canopy Area Sub-total (m²)
27	TBD	M	30	79.5	
28	TBD	S	30	7.0	
29-33	TBD	S	15	3.0	
34-35	TBD	M	15	118.3	
36-38	TBD	M	30	203.4	
39-41	TBD	M	30	202.2	
42	TBD	M	30	78.6	
43-47	TBD	M	30	303.5	
48-49	TBD	S	15	14	
50-51	TBD	M	30	157	
Subtotal of proposed canopy					1247.6
Subtotal of existing canopy multiplied by bonus factor of 1.5					
Subtotal of existing overhanging canopy					
Total # of Trees					23
Total Canopy Area (m²)					12,599.0
Site Canopy Cover					10 %
Canopy Cover Target by Land Use [1]					20 %
Parking Area Summary [5]					
Total # of Trees in or within 5m of Parking Area					0
Total # of Trees in or within 5m of Parking Area					0

3 (v.1.2018) OAKVILLE

Development application guidelines ■ Canopy cover plan and canopy calculation chart

### CANOPY CALCULATION CHART TEMPLATE ROW

Submit a separate chart for on-site condition and for streetscape (multiple right-of-way)

FILE NUMBER: \_\_\_\_\_

FILE NAME: \_\_\_\_\_

CANOPY COVER TARGET [1] 20 % (based on land use)

Tree #	Species	Stature (S,M,L) [2]	Minimum Soil Volume per Tree (m³) [3]	Canopy Area (m²) [4]	Canopy Area Sub-total (m²)
1-2	TBD	L	15	276	
3-21	TBD	M	15	1195	
22-24	TBD	M	15	215.3	
25-26	TBD	M	15	148	
52	TBD	M	30	78.6	
53-57	TBD	M	15	526	
Subtotal of proposed canopy					1839.3
Subtotal of existing canopy multiplied by bonus factor of 1.5					
Subtotal of existing overhanging canopy					
Total # of Trees					26
Total Canopy Area (m²)					15329.0
Site Canopy Cover					14.6 %
Canopy Cover Target by Land Use [1]					20 %
Parking Area Summary [5]					
Total # of Trees in or within 5m of Parking Area					0
Total # of Trees in or within 5m of Parking Area					0

3 (v.1.2018) OAKVILLE

### TREE PRESERVATION AND PLANT HEALTH CARE FOR CONSTRUCTION AROUND TREES

Current ISA Best Management Practices for preserving trees in close proximity to construction activities indicate that trees should not be fertilized during construction or following the first year of construction activities. This is due to urban soils often being sterile and compacted, reducing water and nutrient uptake and causing a build up of fertilizers that may burn roots and reduce water uptake by the trees.

Therefore, we recommend saturating the soils around trees with ArborGAIN, and applying a layer of wood chips that are soaked with ArborGAIN to provide a slow release food source to help the tree during and after construction. This will stimulate microbial soil activity and root development, and provide a carbohydrate food source for trees to increase vigor and foliage growth. This will also help alleviate some tree stress due to construction activities, and increase drought tolerance. Individual tree needs should be assessed by a qualified arborist prior to construction and in addition to tree health and condition, soil analysis is also recommended to determine soil health and condition.

**Pre-construction Phase**  
The following tree preservation measures should occur prior to construction:  
• Tree Protection Hoarding/Fencing should be installed and in place prior to demolition and construction activities.  
• All contractors should be informed of the tree preservation measures and guidelines and any questions or inquiries should be addressed before demolition and construction begins.  
• Trees that are proposed for removal (and/or after receiving the appropriate removal permits) should be removed prior to demolition and construction activities.  
• Trees that are to be preserved should be properly pruned prior to construction.  
• Watering within the Tree Protection Zones may be required during drought periods or as the season dictates.  
• If injury should occur to retained trees during construction, the consulting arborist should re-evaluate the trees so that appropriate treatments can be recommended and performed.  
• No excavation or demolition should occur until all tree preservation requirements have been met.  
• These recommendations should be used as a minimum requirement for the survival of the retained trees and the consulting arborist should be included in all decisions regarding activities in and around Tree Protection Zones.

**Construction Phase**  
The following tree preservation measures should occur during construction:  
• Maintain and respect Tree Protection Zones (TPZ) fencing and Tree Protection Guidelines throughout each construction phase. Do not store or dump materials in the TPZ area.  
• Branches that are required to be ground during construction for character, should be done so by a qualified arborist.  
• Watering within the TPZ may be required during dry periods.

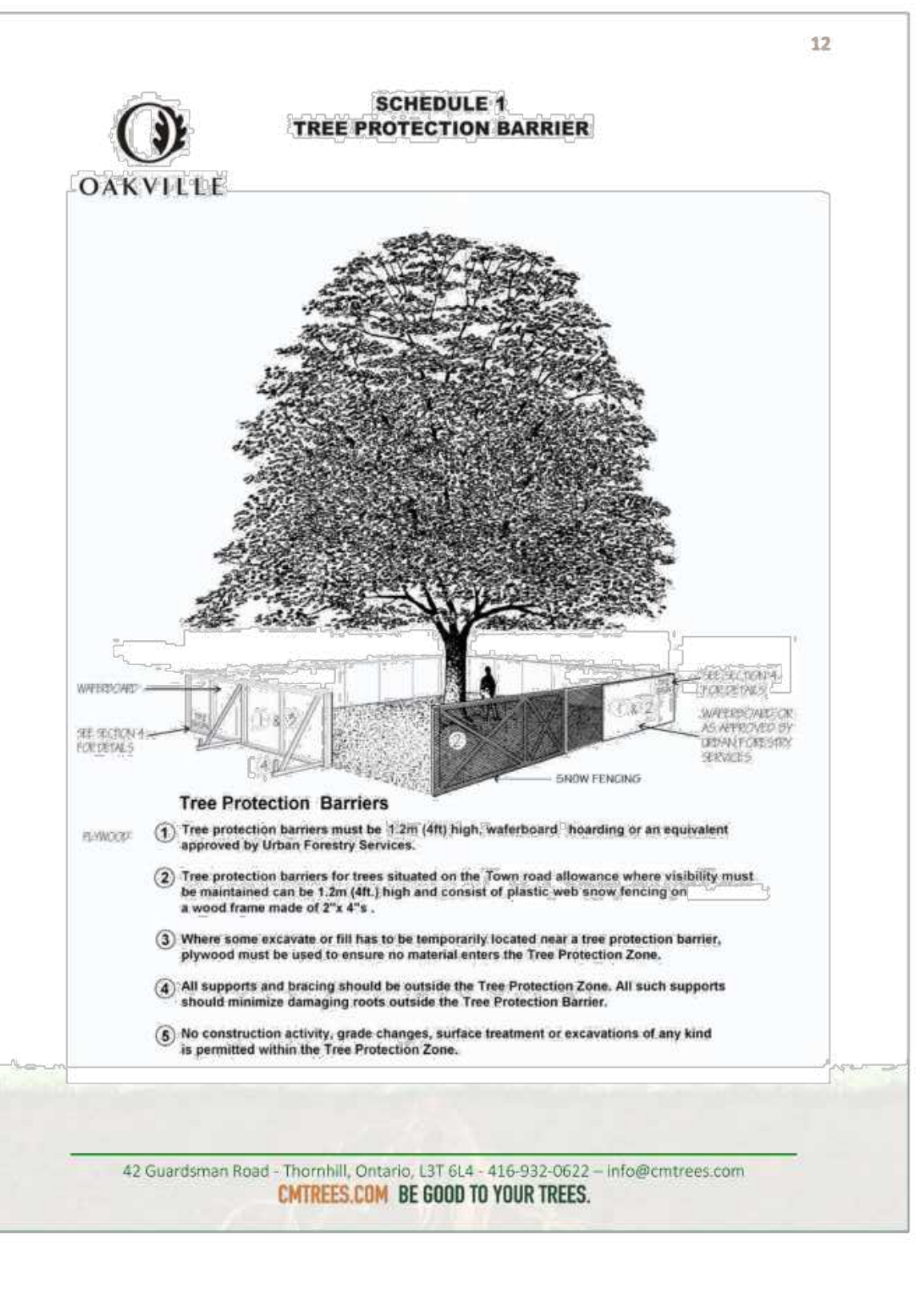
42 Guardian Road - Thornhill, Ontario, L3T 6L4 - 416-932-0022 - info@cmreos.com  
CMREOS.COM BE GOOD TO YOUR TREES.

Preserved trees should be monitored by a qualified Arborist to evaluate construction injury/stress and make recommendations if necessary.

**Post-Construction Phase**  
The following tree preservation measures should occur after construction:  
• Remove Tree Protection Fencing/Hoarding only after receiving permission.  
• Continue watering trees if necessary.  
• Supplemental soil care and fertilization if required.  
• Post-construction monitoring of all trees by a qualified Arborist.

**Post-Construction Monitoring**  
Construction injury to trees may not be immediately apparent and could take several years to become evident. All preserved trees should be inspected by a qualified Arborist on a semi-annual basis for a period of up to 2 years to monitor any tree health related issues as they occur and take appropriate measures.

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CANOPY COVER CALCULATION - ON-SITE

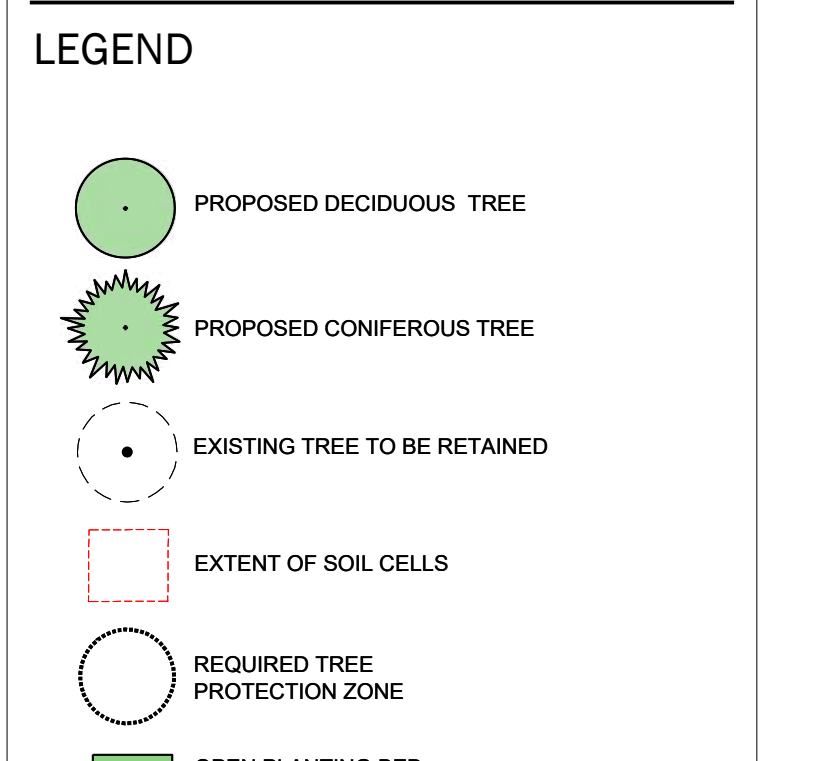
CANOPY COVER CALCULATION - ROW



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### ISSUE

NO.	DATE	DESCRIPTION
10		
9		
8		
7		
6		
5		
4	2024-10-04	ISSUED FOR OAKVILLE TOC
3	2024-03-27	ISSUED FOR SNA
2	2024-03-27	ISSUED FOR REZONING
1	2022-05-09	ISSUED FOR REZONING

Janet Rosenberg & Studio  
Landscape Architecture and Urban Design  
# 416 456 4465 # 416 456 5756 www.jrlandscaping.com  
148 West Beaver Creek, Toronto Ontario M2B 2S9 Canada

### TOC DEVELOPMENT

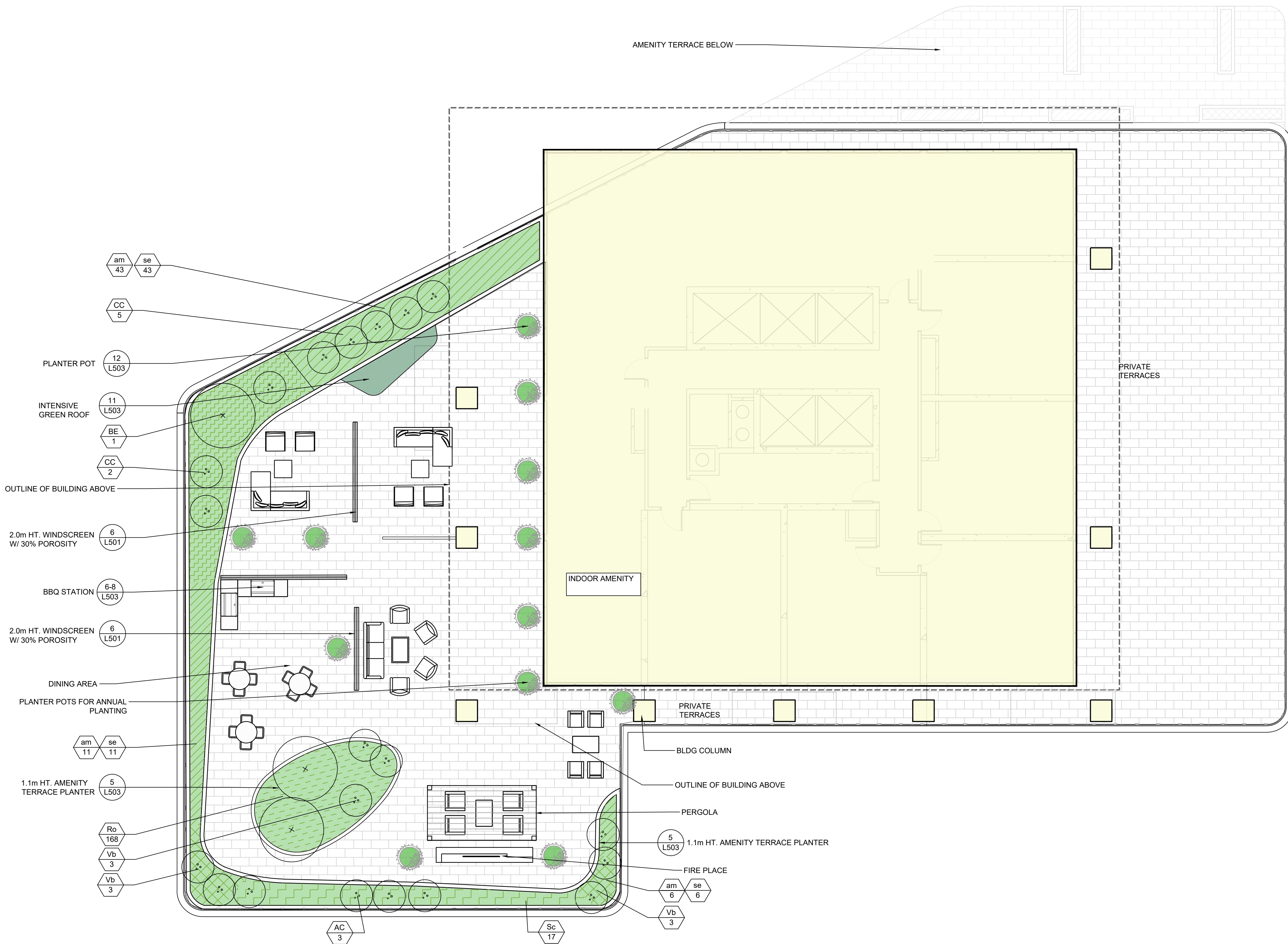
CROSS AVENUE & ARGUS ROAD  
OAKVILLE, ONTARIO

### SOIL VOLUME AND CANOPY COVER PLAN - ULTIMATE CONDITION

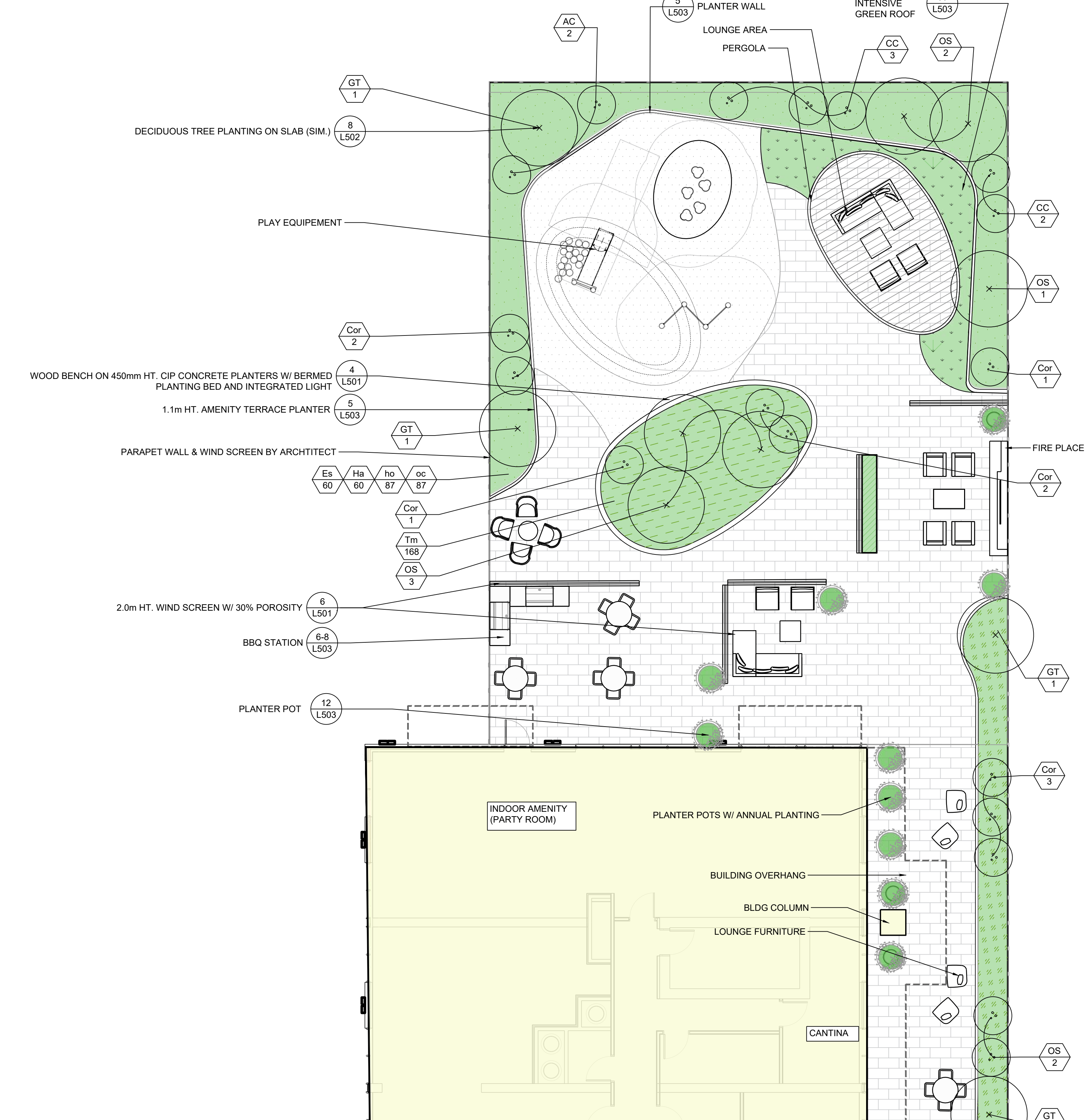
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DRAWN: GH  
CHECKED: LH  
PROJECT NUMBER: 21-026  
DRAWING DATE: 2021-11-20

# L101





1 AMENITY TERRACE BLDG A  
SCALE: 1:100



2 AMENITY TERRACE BLDG C  
SCALE: 1:100

PLANT LIST L07 - BLDG A

Quantity	Key	Botanical	Common	Spacing	Specification / Notes
<b>TREES</b>					
13	AC	<i>Amelanchier canadensis</i>	Canadian Serviceberry	As shown	50cm WB
6	CC	<i>Cercis canadensis</i>	Redbud	As shown	50cm WB
4	OS	<i>Ostrya virginiana</i>	Ironwood	As shown	50cm WB
1	BE	<i>Betula jacquemonti</i>	Himalayan Birch	As shown	Multistem, 200cm
<b>SHRUBS</b>					
5	Cor	<i>Cornus alternifolia</i>	Pagoda Dogwood	As Shown	150cm
11	Es	<i>Euonymus fortunei 'Sarcocoxia'</i>	Sarcocoxia euonymus	60cm O.C.	40cm / 3 gal
34	Ha	<i>Hydrangea arborescens</i>	Annabelle Hydrangea	60cm O.C.	60cm / 5 gal
17	Sc	<i>Sambucus canadensis</i>	Elderberry	100 O.C.	80cm
69	Tm	<i>Taxus media 'Hicksii'</i>	Hicks Yew	50cm O.C.	60cm
12	Vb	<i>Viburnum dentatum</i>	Arrowwood	100cm O.C.	80cm
<b>PERENNIALS, GRASSES &amp; VINES</b>					
60	am	<i>Artemisia ludoviciana</i>	Arkansas Blue Star	50cm O.C.	1 gal
65	oc	<i>Osmunda cinnamomea</i>	Cinnamon Fern	50cm O.C.	1 gal
65	ho	<i>Hosta spp</i>	Hosta	50cm O.C.	1 gal
60	se	<i>Sedum telphium</i>	Sedum	50cm O.C.	1 gal

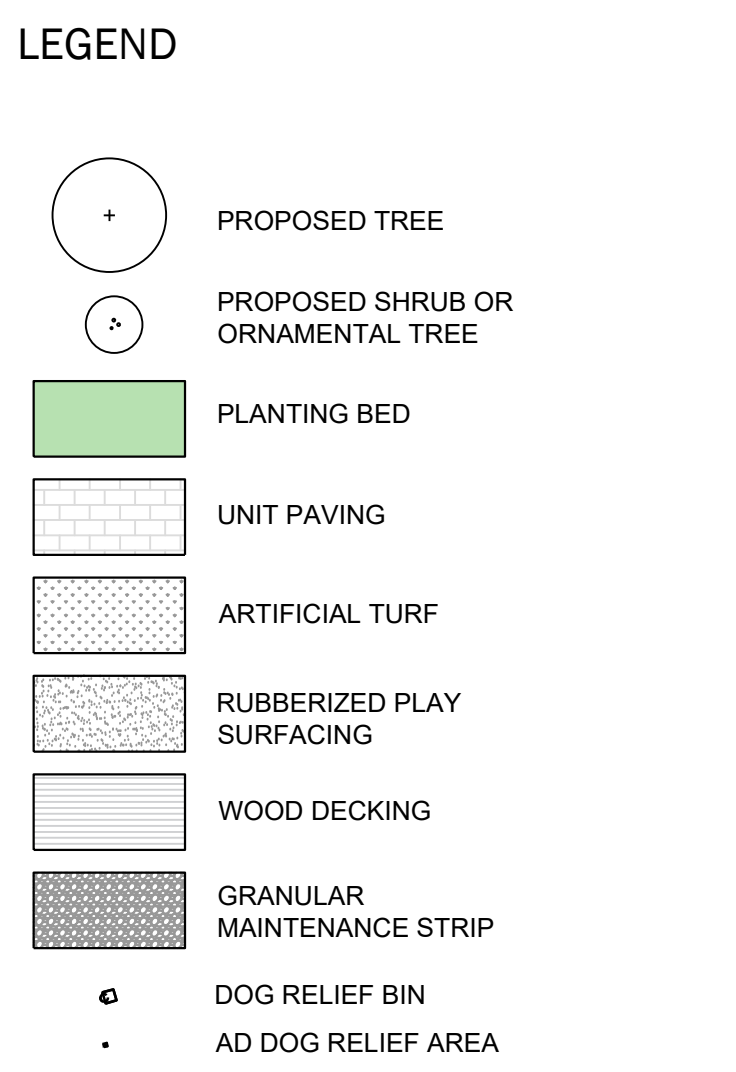
PLANT LIST L07 - BLDG C

Quantity	Key	Botanical	Common	Spacing	Specification / Notes
<b>TREES</b>					
2	AC	<i>Amelanchier canadensis</i>	Canadian Serviceberry	As shown	50cm WB
4	BE	<i>Betula jacquemonti</i>	Himalayan Birch	As shown	Multistem, 200cm
5	CC	<i>Cercis canadensis</i>	Redbud	As shown	50cm WB
7	GT	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	Honeylocust	As Shown	50cm WB
12	OS	<i>Ostrya virginiana</i>	Ironwood	As shown	50cm WB
<b>SHRUBS</b>					
9	Cor	<i>Cornus alternifolia</i>	Pagoda Dogwood	As Shown	150cm
60	Es	<i>Euonymus fortunei 'Sarcocoxia'</i>	Sarcocoxia euonymus	60cm O.C.	40cm / 3 gal
60	Ha	<i>Hydrangea arborescens</i>	Annabelle Hydrangea	60cm O.C.	60cm / 5 gal
8	Sc	<i>Sambucus canadensis</i>	Elderberry	100 O.C.	80cm
168	Tm	<i>Taxus media 'Hicksii'</i>	Hicks Yew	50cm O.C.	60cm
8	Vb	<i>Viburnum dentatum</i>	Arrowwood	100cm O.C.	80cm
<b>PERENNIALS, GRASSES &amp; VINES</b>					
33	am	<i>Artemisia ludoviciana</i>	Arkansas Blue Star	50cm O.C.	1 gal
179	oc	<i>Osmunda cinnamomea</i>	Cinnamon Fern	50cm O.C.	1 gal
179	ho	<i>Hosta spp</i>	Hosta	50cm O.C.	1 gal
33	se	<i>Sedum telphium</i>	Sedum	50cm O.C.	1 gal

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**ISSUE**

10	2024-10-04	ISSUED FOR GARVILLE TOC
9	2024-03-27	ISSUED FOR SPA
8		
7		
6		
5		
4		
3		
2	2024-10-04	ISSUED FOR GARVILLE TOC
1	2024-03-27	ISSUED FOR SPA



**Janet Rosenberg & Studio**  
Landscape Architecture and Urban Design  
4143 KENNEDY AVENUE, #4100 (416) 223-1710  
1488 KENNEDY AVENUE, TORONTO ONTARIO M3J 3J3 CANADA

**TOC DEVELOPMENT**

CROSS AVENUE & ARGUS ROAD  
GARVILLE, ONTARIO

**L-07 AMENITY TERRACE PLAN BLDGS A & C**

SCALE: 1:100  
DRAWN: JP  
CHECKED: LR  
PROJECT NUMBER: 21-026  
DRAWING DATE: 2023-09-14

**LT107**

PLANT LIST					
Quantity	Key	Botanical	Common	Spacing	Specification / Notes
<b>TREES</b>					
2	AC	<i>Amelanchier canadensis</i>	Canadian Serviceberry	As shown	50cm WB
1	OS	<i>Ostrya virginiana</i>	Ironwood	As shown	50cm WB
<b>SHRUBS</b>					
23	Es	<i>Euonymus fortunei</i> 'Sarcocoe'	Sarcocoe euonymus	60cm O.C.	40cm / 3 gal
22	Ha	<i>Hydrangea arborescens</i>	Annabelle Hydrangea	60cm O.C.	60cm / 5 gal
56	Sp	<i>Spiraea japonica</i>	Spiraea	50cm O.C.	40cm / 3 gal
50	Tm	<i>Taxus media</i> 'Hicksi'	Hicks Yew	50cm O.C.	60cm
<b>PERENNIALS, GRASSES &amp; VINES</b>					
32	oc	<i>Osmunda cinnamomea</i>	Cinnamon Fern	50cm O.C.	1 gal
32	ho	<i>Hosta spp</i>	Hosta	50cm O.C.	1 gal



**NOTES**

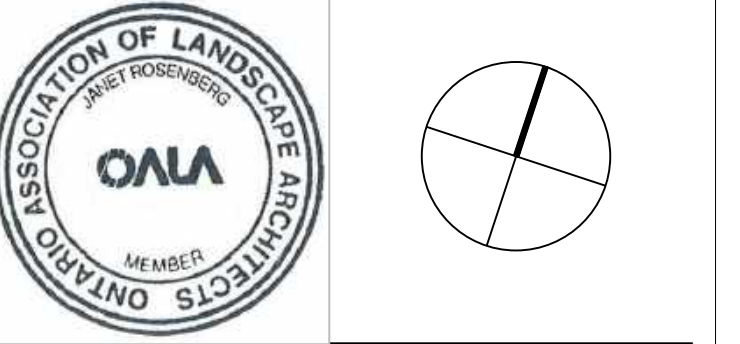
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**LEGEND**

- PROPOSED TREE
- PLANTING BED
- UNIT PAVING
- RUBBER PLAY SURFACING

**ISSUE**

- 10
- 9
- 8
- 7
- 6
- 5
- 4
- 3
- 2 2024-10-04 ISSUED FOR GARVILLE TOC
- 1 2024-03-27 ISSUED FOR SPA



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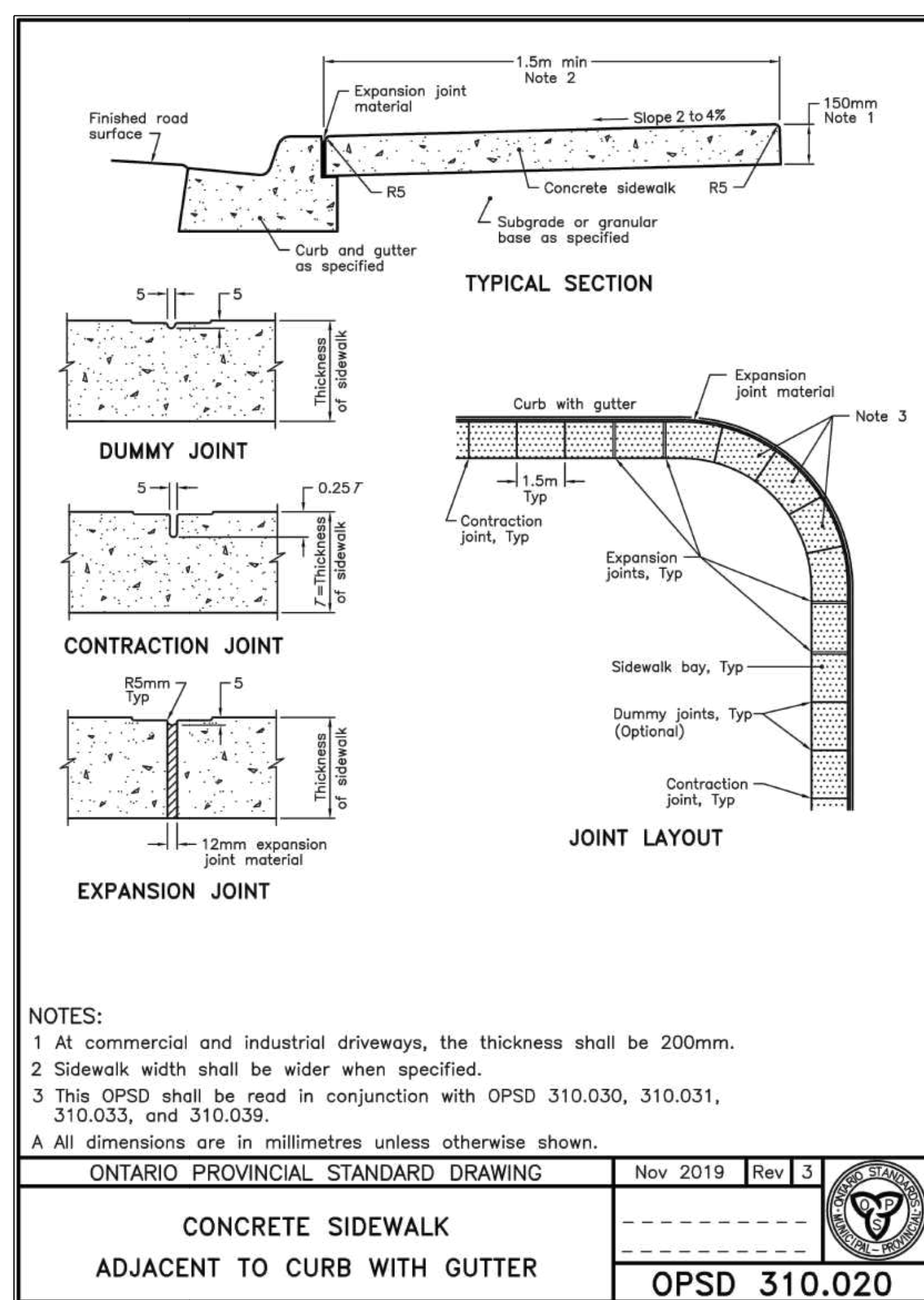
**TOC DEVELOPMENT**

**CROSS AVENUE & ARGUS ROAD**  
 GARVILLE, ONTARIO

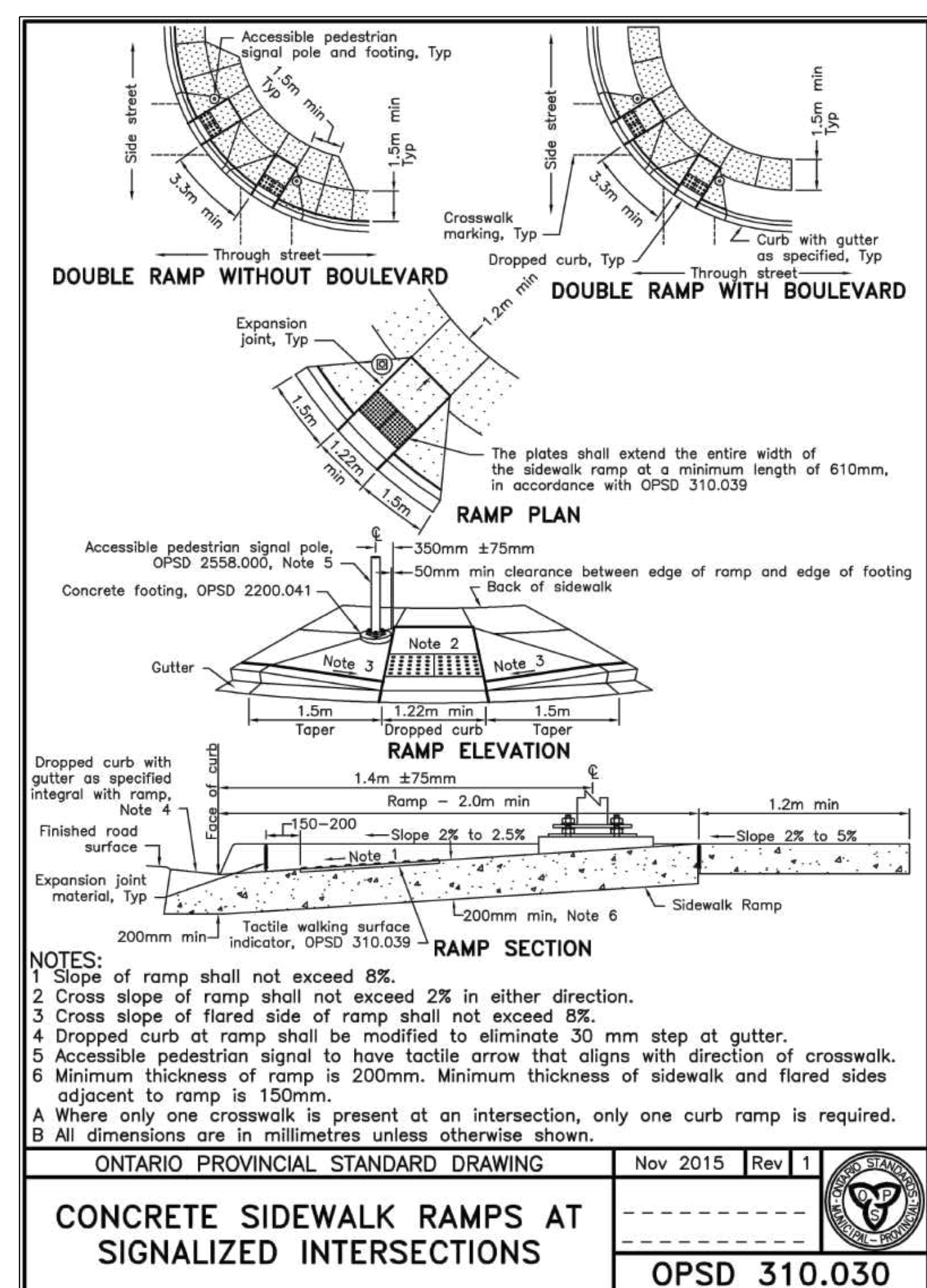
**L-08 BUILDING C  
 AMENITY TERRACE PLAN**

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 DRAWN: JP  
 CHECKED: LR  
 PROJECT NUMBER: 21-026  
 DRAWING DATE: 2023-09-14

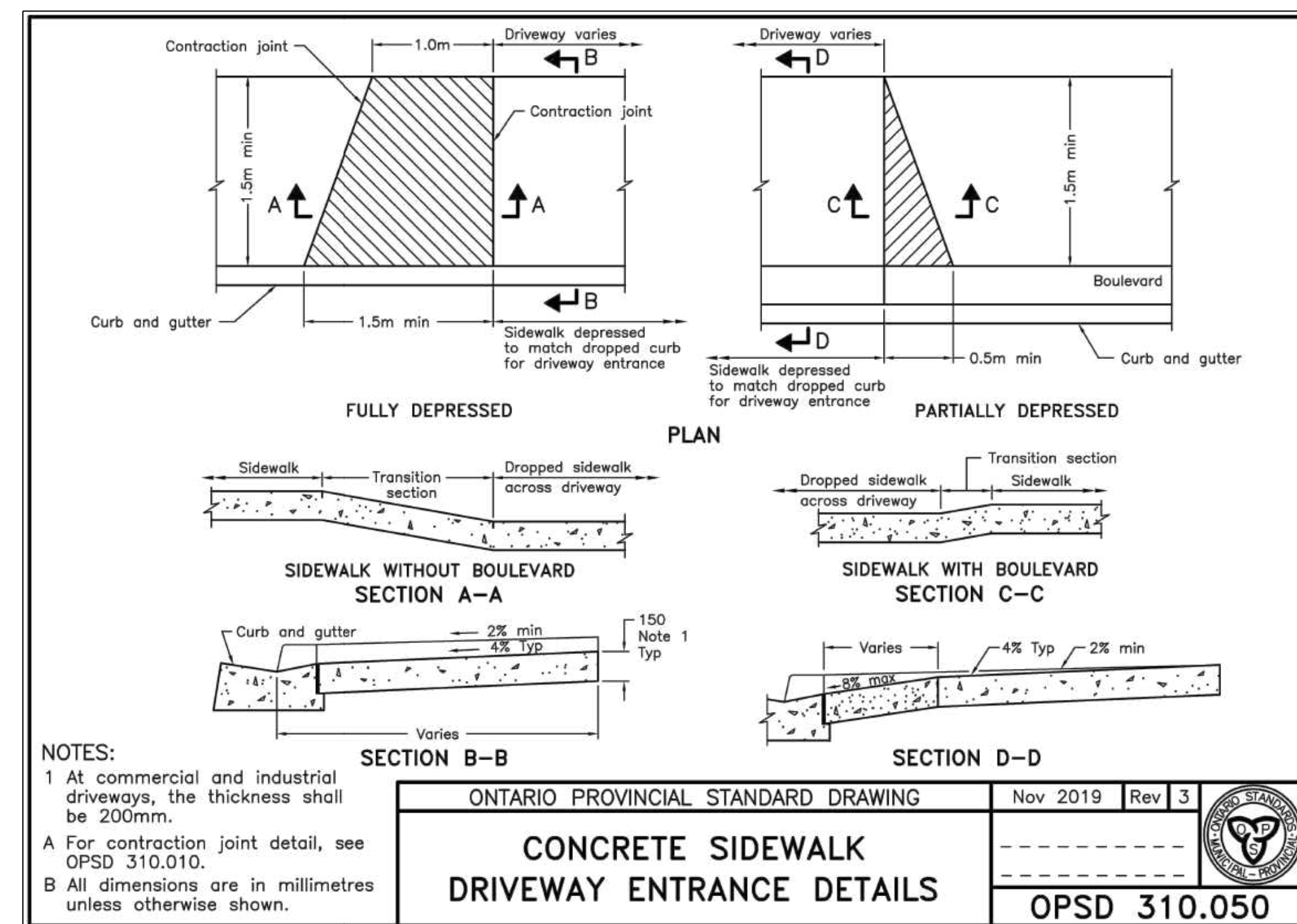
**LT108**



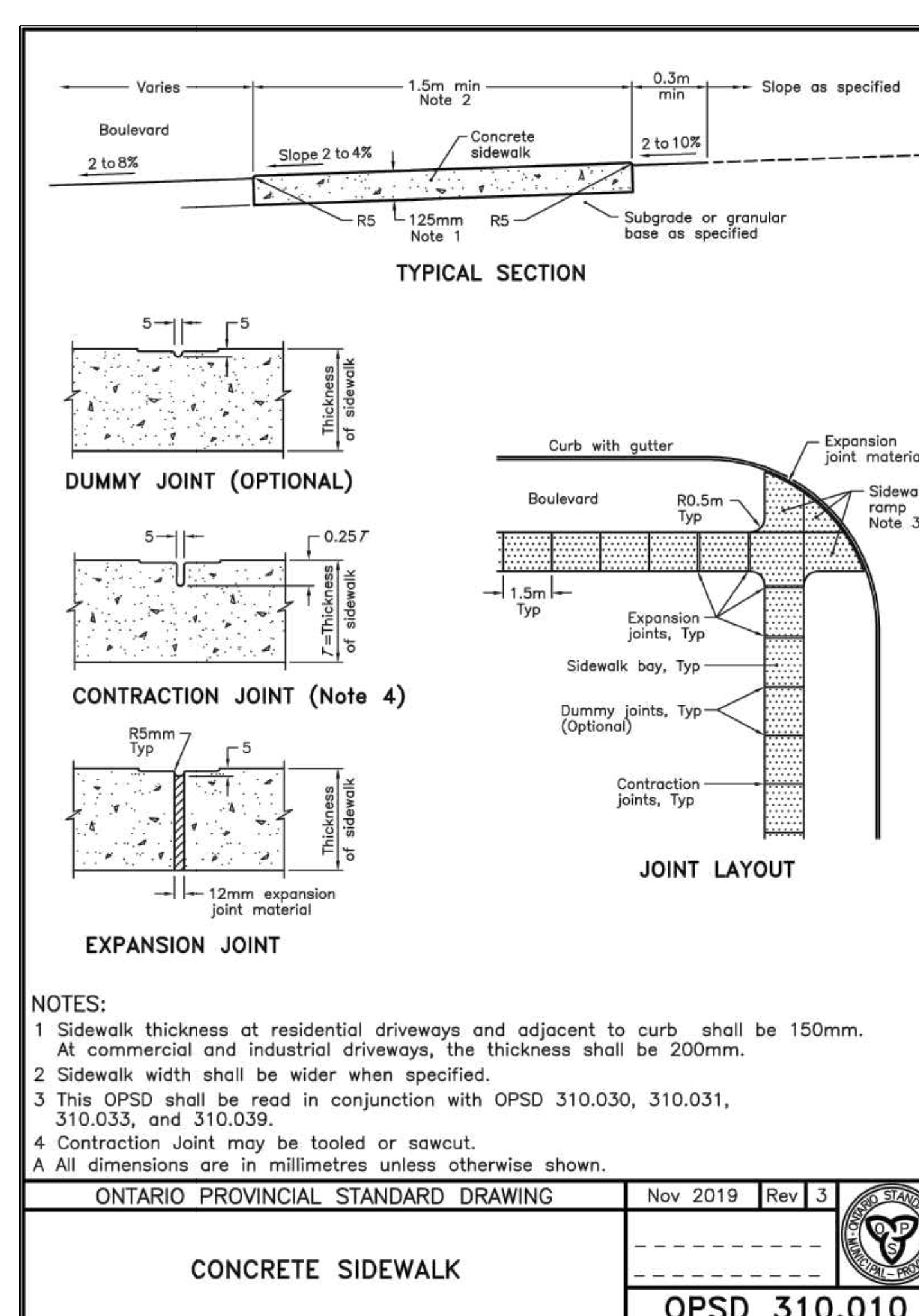
1 CIP CONCRETE SIDEWALK & CURB  
 SCALE: NTS



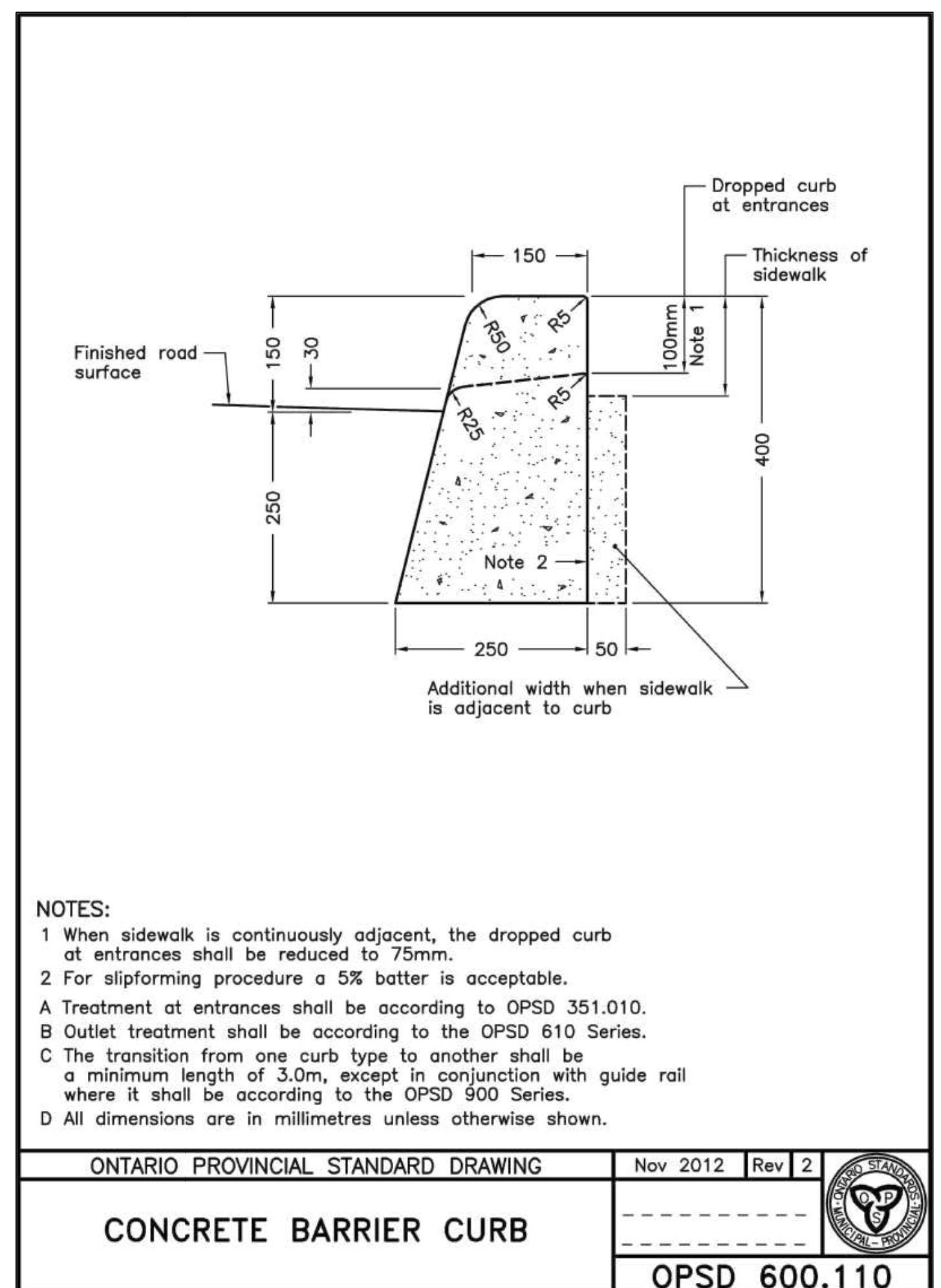
2 CONCRETE SIDEWALK RAMP AT SIGNALIZED INTERSECTIONS  
 SCALE: NTS



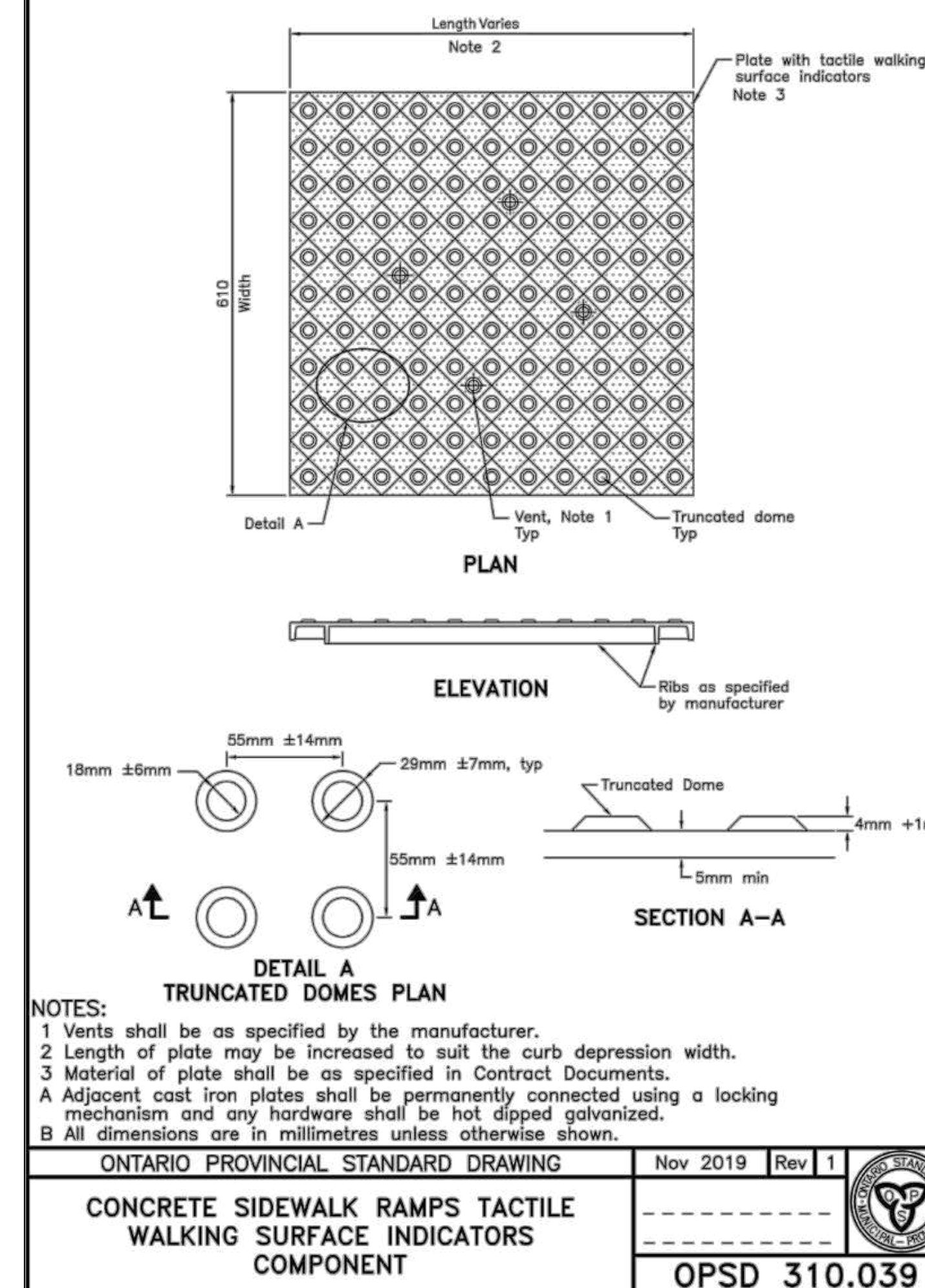
3 CONCRETE SIDEWALK AT DRIVEWAY ENTRANCE  
 SCALE: NTS



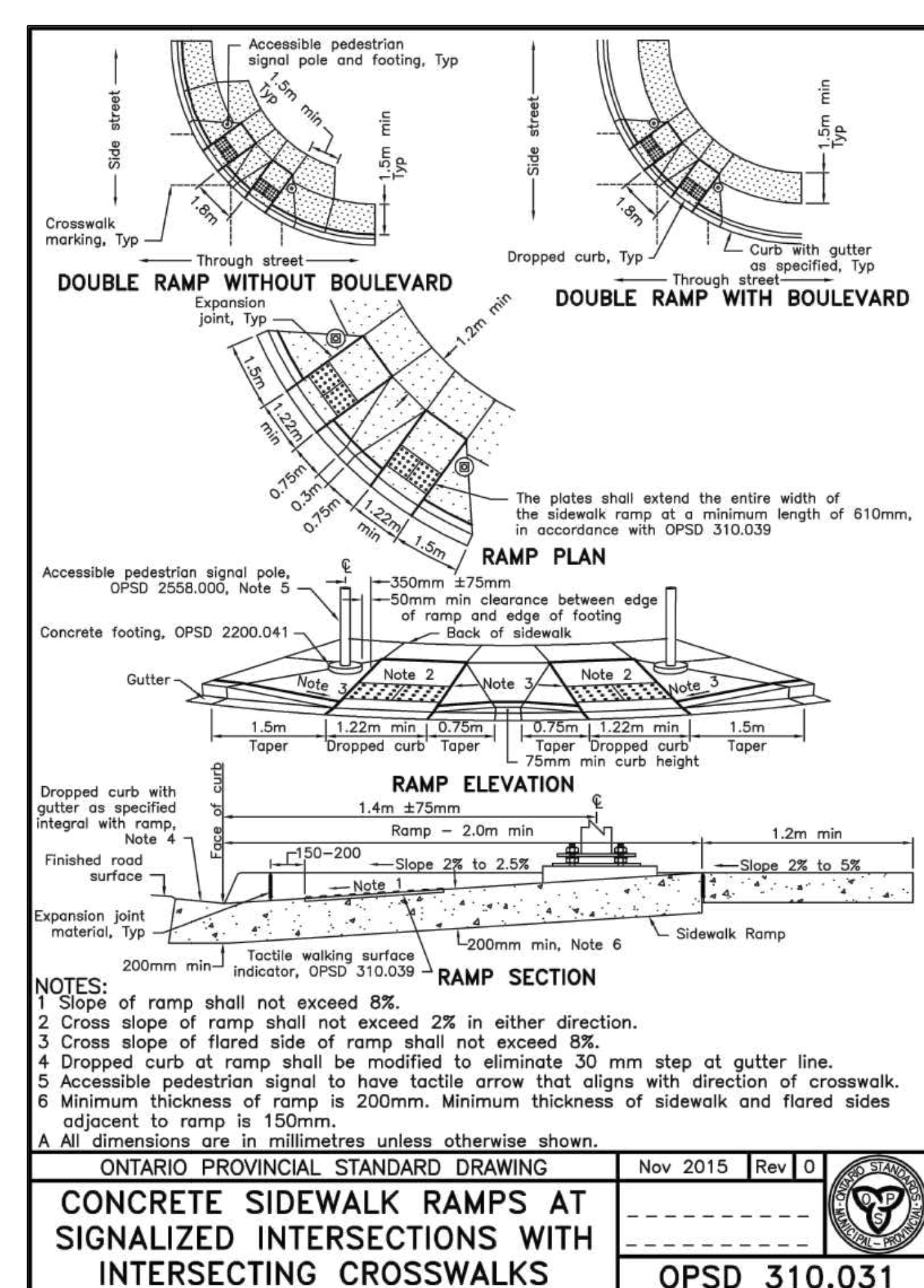
4 CIP CONCRETE SIDEWALK AND BOULEVARD  
 SCALE: NTS



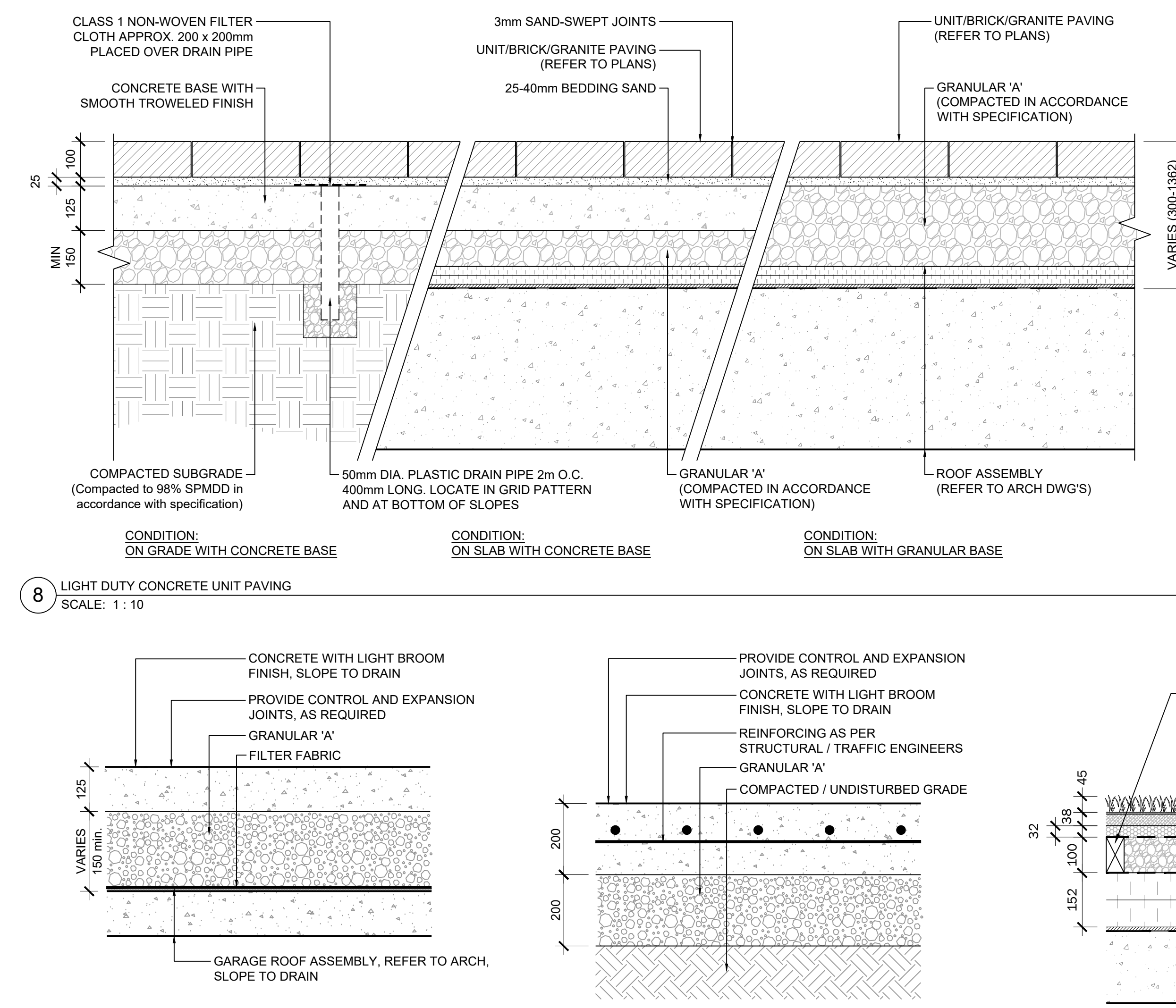
5 CONCRETE CURB  
 SCALE: NTS



6 TACTILE WALKING SURFACE INDICATORS AT SIDEWALK RAMP  
 SCALE: NTS



7 CONCRETE SIDEWALK RAMP W/ CROSSWALKS  
 SCALE: NTS



9 LIGHT DUTY CONCRETE PAVING  
 SCALE: 1:10

10 HEAVY DUTY CONCRETE PAVING  
 SCALE: 1:10

11 ARTIFICIAL TURF  
 SCALE: 1:10

**Eterna 100mm**

**Eterna Collection**

**Cloudburst**

**Luna**

**Tricolor**

**STONE MASONRY CONTIGUOUS COVER**

**100x100 Stone 3.6 x 11.8" (93 x 300mm) Individually Packaged**

**150x150 Stone 3.9 x 13.7" (100 x 350mm) Individually Packaged**

**300x300 Stone 7.87 x 23.62" (200 x 600mm) Individually Packaged**

**400x400 Stone 15.74 x 23.62" (400 x 600mm) Individually Packaged**

**NOTE:** When ordering Eterna, try to source product from a single batch lot to reduce the risk of variability. Colour and sand consistency between different sites and batch lots cannot be guaranteed.

12 ETERNA UNIT PAVER  
 SCALE: NTS

**Packaging Specs**

ETTERNA 100mm	BUNDLE SPECIFICATIONS				PER SECTION SPECIFICATIONS					
	LAYERS	SO. FT.	LN. FT.	PIECES	WEIGHT	SECTIONS SQ. FT.	LN. FT.	PIECES	WEIGHT	
100x100 Stone	6	64	65 (load)	198	2979	10.7	10.8 (load)	33	497	
150x150 Stone	6	97	43.9 (load)	132	2084	15.7	15.8 (load)	22	447	
300x300 Stone	6	62	31.5 (load)	48	2889	10.3	10.3 (load)	9	481	
400x400 Stone	5	64.6	23.8 (load)	49.2 (load)	25	3912	12.9	12.9 (load)	5	602

**Recommended Uses**

PRODUCT	THICKNESS	SIZE	DRIVEWAY	PARKING	RESIDENTIAL ROAD	MAINT STREET	EMERGENCY ROUTE	INDUSTRIAL AREA	Street/Path
Eterna	100mm	100x100 Stone	✓	✓	✓	✓	✓	✓	✓
	150mm	150x150 Stone	✓	✓	✓	✓	✓	✓	✓
	200mm	200x200 Stone	✓	✓	✓	✓	✓	✓	✓
	400mm	400x400 Stone	✓	✓	✓	✓	✓	✓	✓

**Special Order**

Minimum quantities apply. Speak with your Oaks Dealer/Representative for details.

**DAIR OAK** **OLIVE** **PLUM** **TERA COTTA**

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**Hanover® Prest® Pavers | STANDARD COLORS WITH TUDOR® FINISH**

The eight standard colors shown are available in a wide range of power sizes and thicknesses. Custom color blending can be accommodated, as well as, custom aggregate blending. Hanover's Tudor® Finish is an architectural feature which gives the surface a granite-like appearance. It is a surface equally suited to urban and municipal projects.

**PREST® Paver Product Data | CUSTOM COLORS WITH GROUND FINISH**

Texture is so important to the appearance of the installation as color and pattern. Hanover's Ground Finish provides a smooth surface revealing the aggregates beneath. Custom color and aggregate blending is available when quantities permit.

**SLATEFACE® PREST® PAVER COLORS**

The Slateface® Paver has been designed to reproduce the texture, color and appearance of natural stone. Stocked in Hanover's BlueStone and Tennessee Flagstone colors, its irregular top surface was developed from actual sections of stone.

**CUSTOM COLORS WITH TUDOR® #13 FINISH**

Hanover® Pavers are also produced in a Tudor® #13 finish which gives a delicate sandstone texture. A few available colors are shown below. Other custom colors can be ordered when quantities permit.

**NOTE:** The top surface of the paver is a reproduction of natural stone. The actual product may vary slightly in color and texture. A small amount of aggregate and sand will be visible in some blended colors.

**BlueStone (#M2370)** **Tennessee Flagstone (#M2343)** **Matrix #1428** **Matrix #1775** **Matrix #2127** **Matrix #1914**

13 HANOVER UNIT PAVER  
 SCALE: NTS

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**LEGEND**

NO.	DESCRIPTION	SCALE
1	CIP CONCRETE SIDEWALK & CURB	SCALE: NTS
2	CONCRETE SIDEWALK RAMP AT SIGNALIZED INTERSECTIONS	SCALE: NTS
3	CONCRETE SIDEWALK DRIVEWAY ENTRANCE DETAILS	SCALE: NTS
4	CIP CONCRETE SIDEWALK AND BOULEVARD	SCALE: NTS
5	CONCRETE CURB	SCALE: NTS
6	TACTILE WALKING SURFACE INDICATORS AT SIDEWALK RAMP	SCALE: NTS
7	CONCRETE SIDEWALK RAMP W/ CROSSWALKS	SCALE: NTS
8	LIGHT DUTY CONCRETE UNIT PAVING	SCALE: 1:10
9	LIGHT DUTY CONCRETE PAVING	SCALE: 1:10
10	HEAVY DUTY CONCRETE PAVING	SCALE: 1:10
11	ARTIFICIAL TURF	SCALE: 1:10

**ISSUE**

NO.	DATE	ISSUED FOR
10	2024-10-04	ISSUED FOR OMAVILLE TOC
9	2023-03-27	ISSUED FOR SPA
8	2024-03-27	ISSUED FOR REZONING
7	2022-05-09	ISSUED FOR REZONING
6	2022-01-18	ISSUED FOR CO-ORDINATION

**LANDSCAPE ARCHITECTURE AND URBAN DESIGN**  
**Janet Rosenberg & Studio**  
 148 Rossmore Avenue, Toronto, Ontario M6S 2S3 Canada

**TOC DEVELOPMENT**

**CROSS AVENUE & ARGUS ROAD**

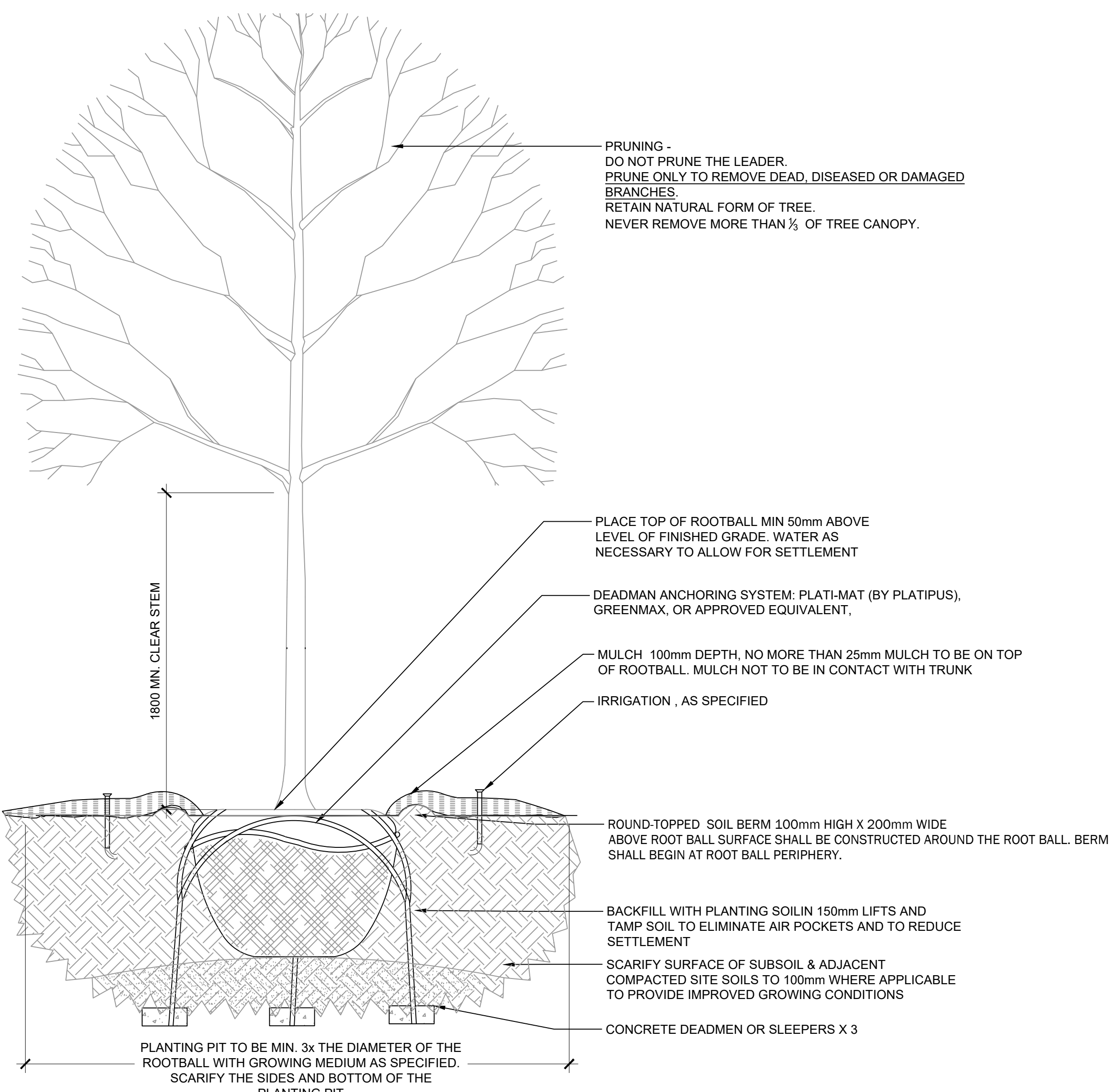
**LANDSCAPE DETAILS**

SCALE: AS SHOWN  
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 CHECKED: GH  
 PROJECT NUMBER: 21-026  
 DRAWING DATE: 2022-03-08

**L500**

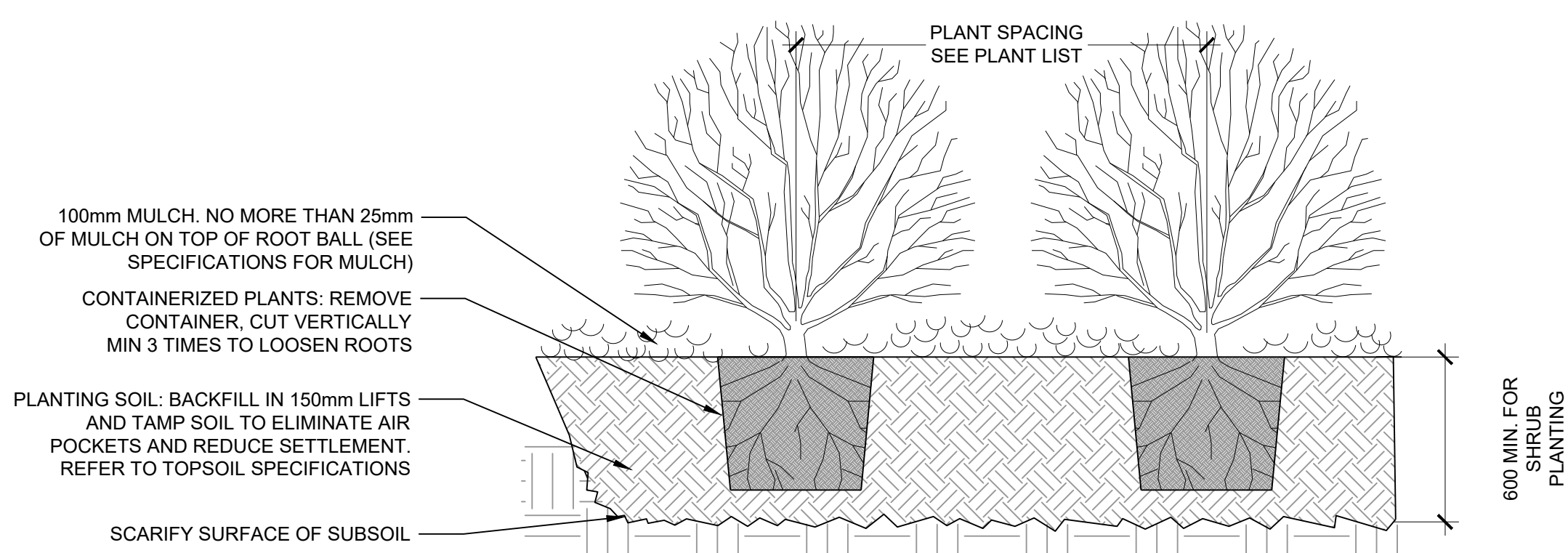






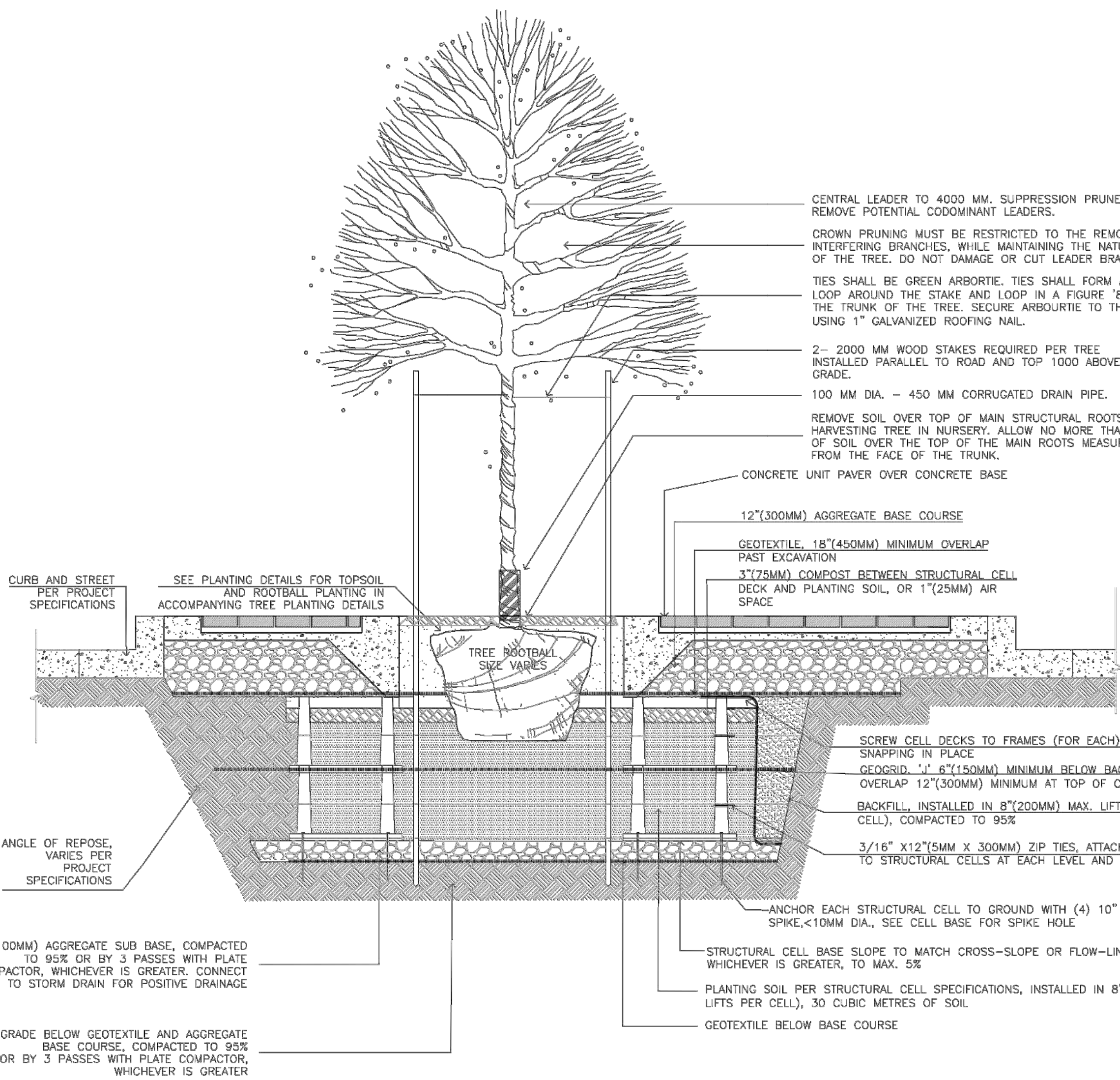
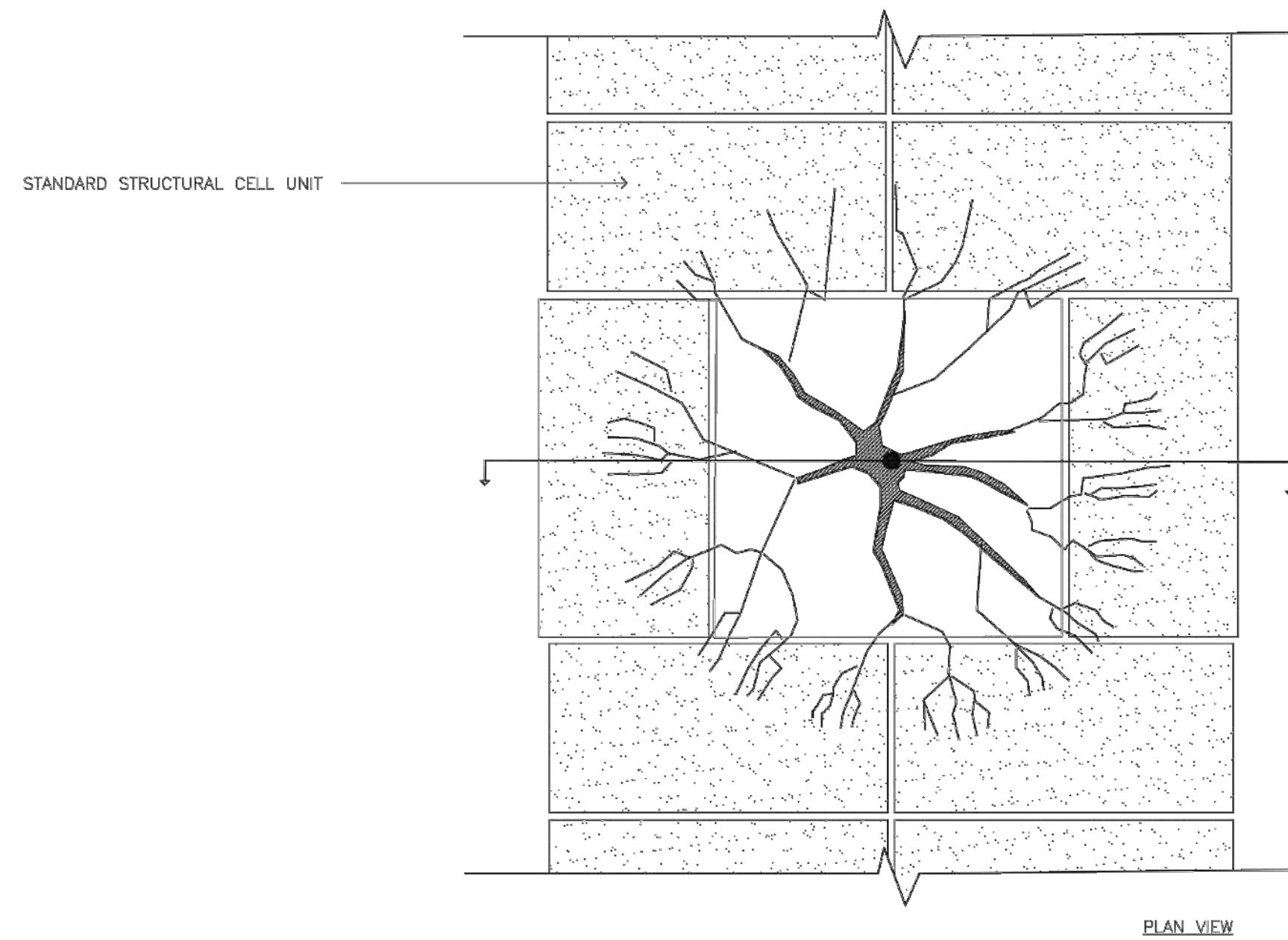
- NOTES:
1. CROWN OF ROOT BALL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT DID TO PREVIOUS GRADE.
  2. TREE CALIPER MEASURED AT 150mm ABOVE GRADE.
  3. THE ABOVE DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.
  4. REMOVE ARBOR TIES AND STAKES AT END OF WARRANTY PERIOD OR ONE GROWING SEASON, WHICHEVER COMES FIRST.
  5. TREE GATOR TO BE SUPPLIED/INSTALLED FOR ANY TREE IN NON-IRRIGATED AREA.
  6. SEE SPECIFICATIONS FOR FURTHER INFORMATION RELATED TO THIS DETAIL.

1 DECIDUOUS TREE PLANTING ON PRIVATE PROPERTY  
SCALE: NTS



- NOTES:
1. FINISH GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT.
  2. SHRUBS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BEDS.
  3. THE ABOVE DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.

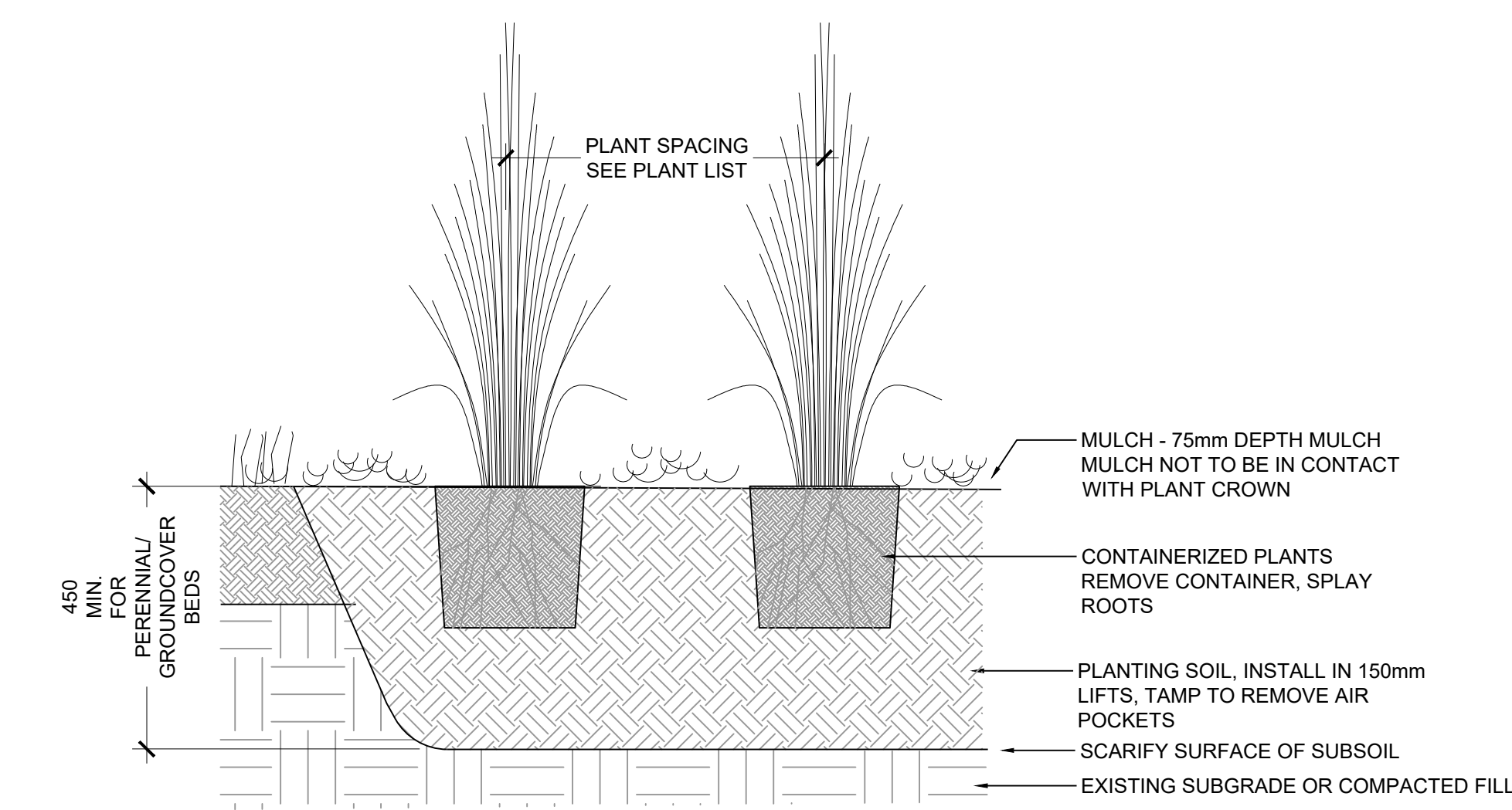
2 SHRUB PLANTING - TYP.  
SCALE: NTS



- NOTES:
1. TOPSOIL IN PLANTING AREAS SHOULD BE COMPACTED TO 80-85% SPD.

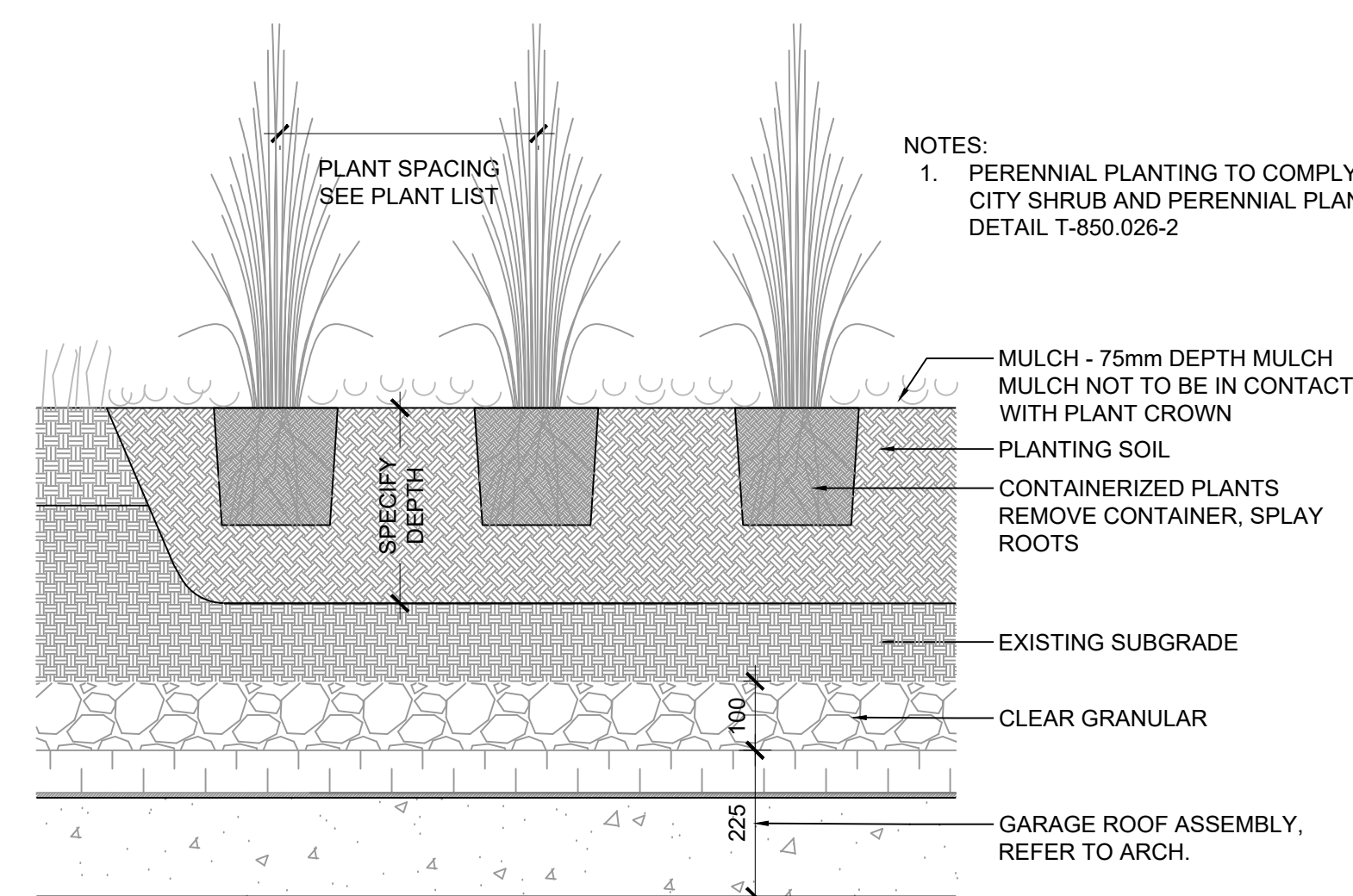
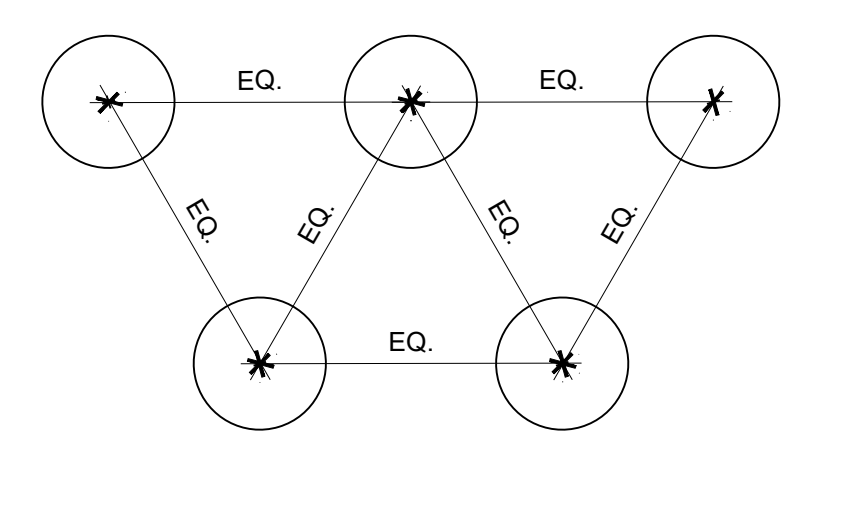
4 TREE PLANTING IN TYPICAL STREETSCAPE, USING STRUCTURAL CELLS  
SCALE: 1:40

3 TREE PLANTING IN PUBLIC BOULEVARD USING STRUCTURAL SOIL CELLS  
SCALE: NTS



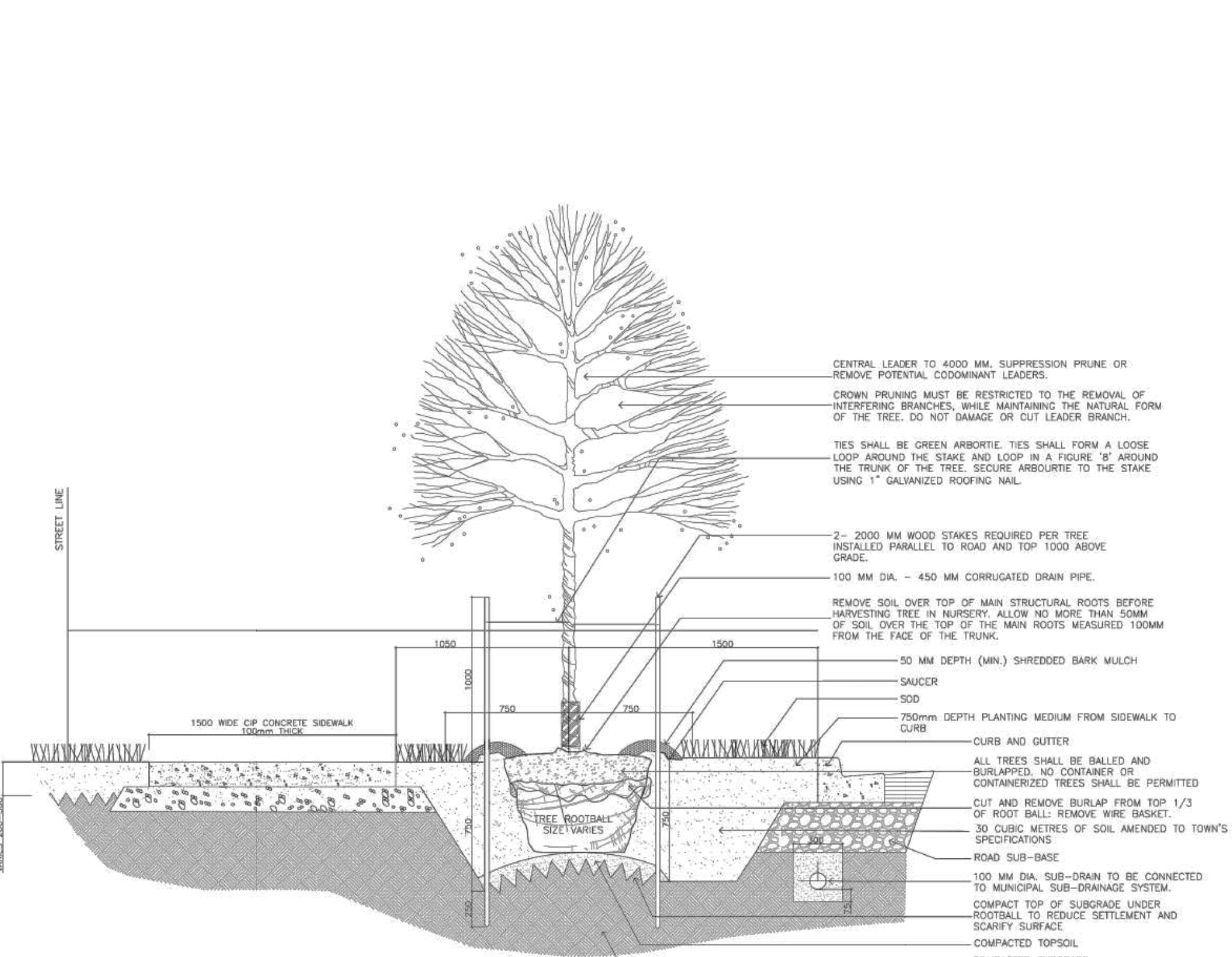
5 HERBACEOUS PLANTING - TYP.  
SCALE: NTS

LAYOUT OF GROUNDCOVER PLANTS - TRIANGULAR SPACING PATTERN, UNLESS OTHERWISE SHOWN IN PLAN



- NOTES:
1. PERENNIAL PLANTING TO COMPLY WITH CITY SHRUB AND PERENNIAL PLANTING DETAIL T-850.026-2

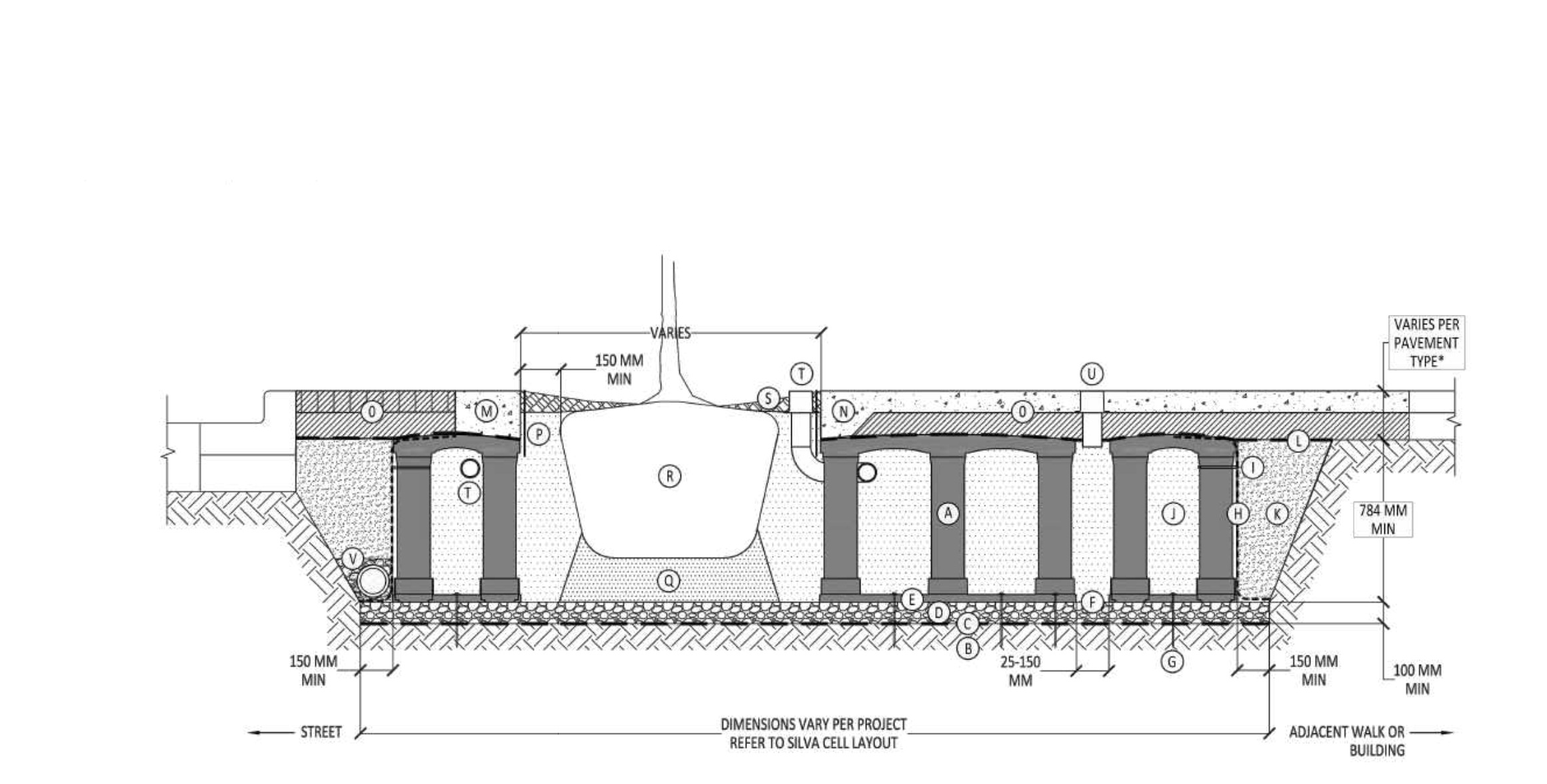
5 HERBACEOUS PLANTING ON SLAB - TYP.  
SCALE: 1:10



- NOTES:
1. TOPSOIL IN PLANTING AREAS SHOULD BE COMPACTED TO 80-85% SPD (MINIMUM 150MM LIFTS).

8 2.5m WIDE PUBLIC BOULEVARD TREE PLANTING DETAIL  
SCALE: 1:40

6 TREE PLANTING IN PUBLIC BOULEVARD (TYP.)  
SCALE: NTS



- NOTES:
1. PLANTING SOIL PER PROJECT SPECIFICATIONS.
  2. PAVED IN LIFTS AND WALKWAY COMPACTED TO 75-85% PROCTOR.
  3. COMPACTED BACKFILL PER PROJECT SPECIFICATIONS.
  4. GEOTEXTILE FABRIC TO EDGE OF EXCAVATION.
  5. RIBBON CURB AT TREE OPENING (TO BE USED WITH PAVERS OR ASPHALT).
  6. THICK PAVEMENT EDGE AT TREE OPENING (TO BE USED WITH CONCRETE).
  7. PAVEMENT AND AGGREGATE BASE PER PROJECT.
  8. MINIMUM PAVEMENT PROFILE OPTIONS TO MEET CSA-816 IF SAN PAVEMENT:
    - 150 MM CONCRETE + 100 MM AGGREGATE
    - 75 MM PAVES + 100 MM AGGREGATE
    - 100 MM ASPHALT + 100 MM AGGREGATE
    - 85 MM PAVES + 125 MM CONCRETE
  9. BED/POST ROOT BARRIER, 300 OR 450 MM. DEPTH (DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT).
  10. PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING.
  11. NOT BELL.
  12. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
  13. BED/POST WATER AND AIR VENT, WHEN REQUIRED.
  14. BED/POST WATER AND AIR VENT, WHEN REQUIRED.
  15. UNDERDRAIN SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHERS).

9 SILVA CELL CONTINUOUS SOIL TRENCH (TYP.)  
SCALE: NTS

8 DECIDUOUS TREE PLANTING ON SLAB  
SCALE: NTS

NOTES

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  7. The Designer of these plans and specifications gives no warranty or representation in any way about the constructability of the represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times that they can properly construct the work represented by these plans.

LEGEND

ISSUE

10		
9		
8		
7		
6		
5	2024-10-04	ISSUED FOR OAKVILLE TOC
4	2024-03-27	ISSUED FOR SPA
3	2024-03-27	ISSUED FOR REZONING
2	2022-05-09	ISSUED FOR REZONING
1	2022-03-06	ISSUED FOR CO-ORDINATION



Janet Rosenberg & Studio  
Landscape Architecture and Urban Design  
4 416-916-8810 # 416-916-1716 www.janet-rosenberg.com  
148 Ansonville Avenue, Toronto Ontario M6C 2E5 Canada

TOC DEVELOPMENT

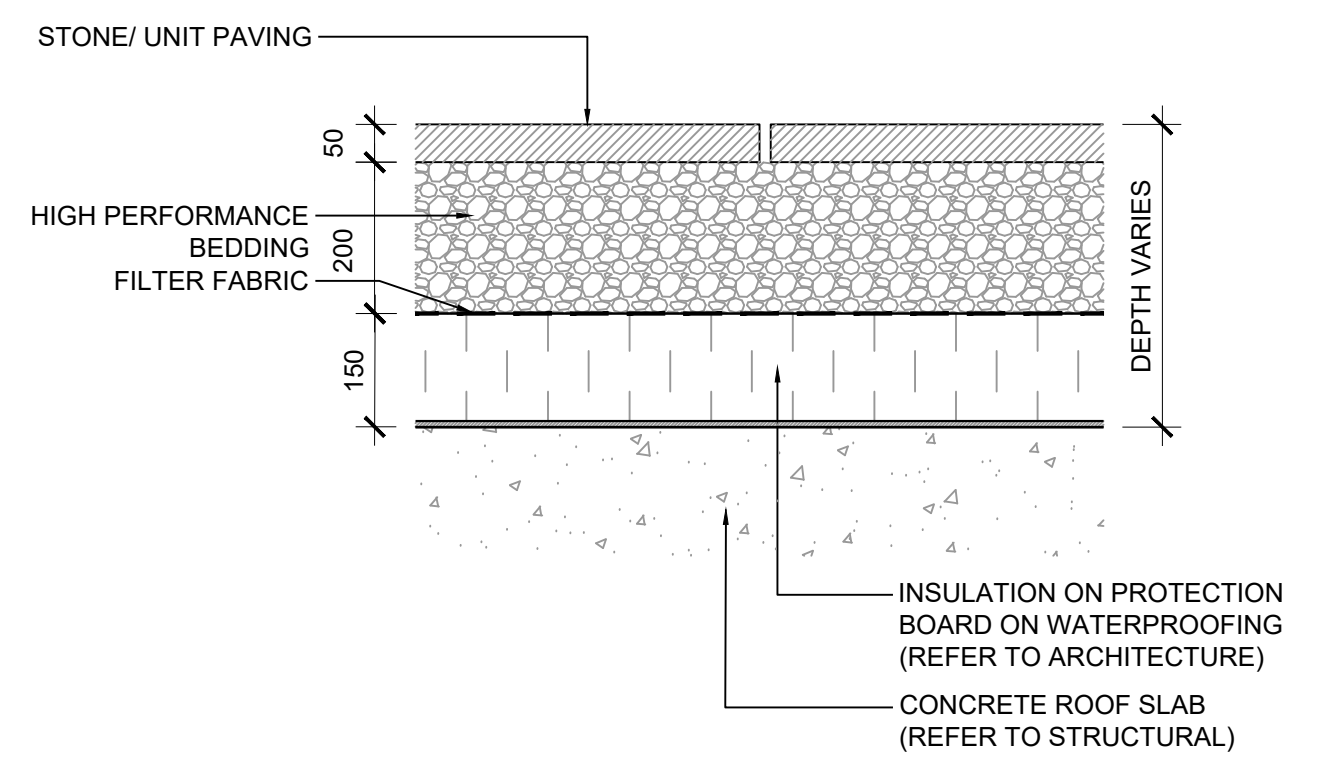
CROSS AVENUE & ARGUS ROAD

OAKVILLE, ONTARIO

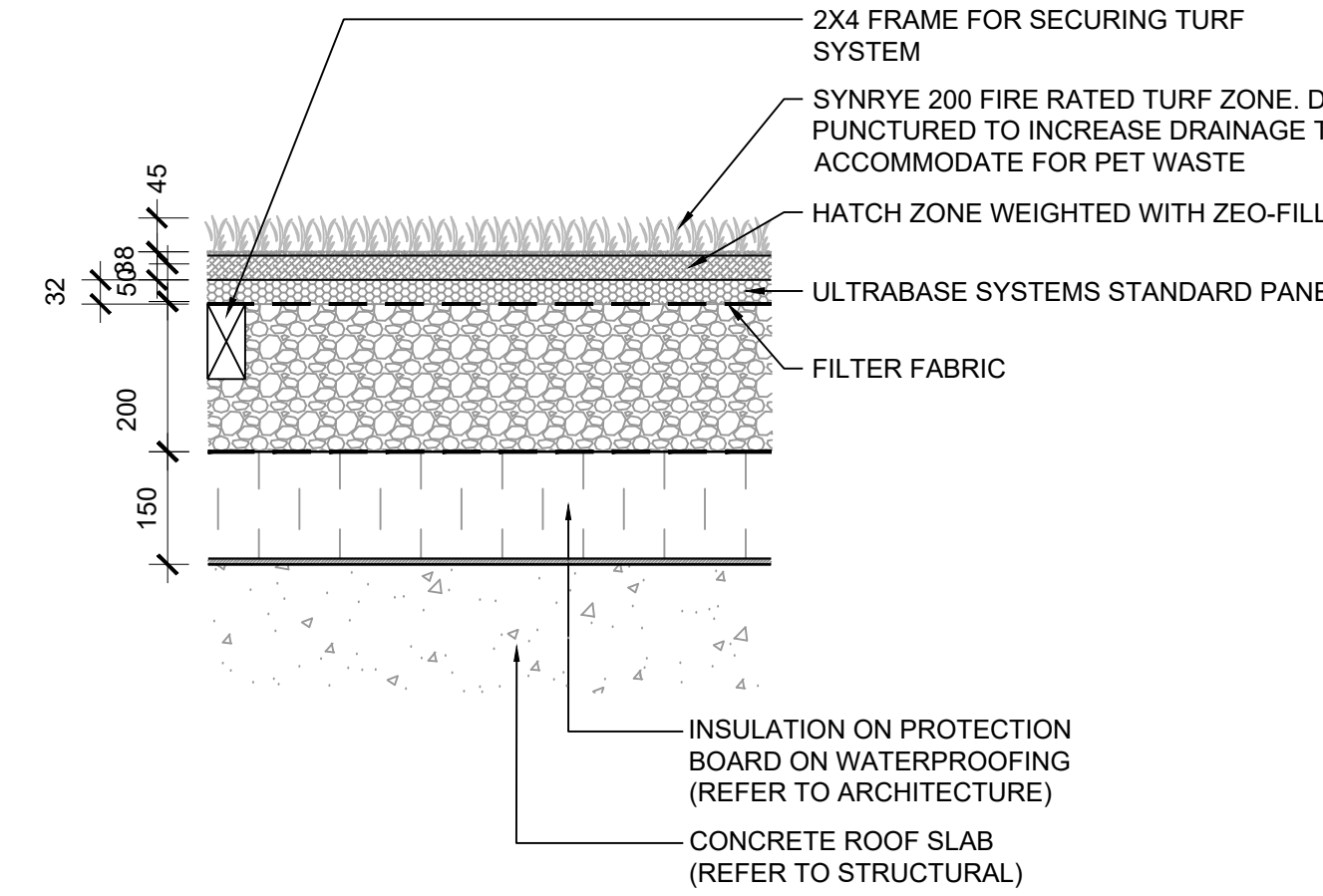
LANDSCAPE DETAILS

SCALE: AS SHOWN  
DRAWN: LR  
CHECKED: GH  
PROJECT NUMBER: 21-026  
DRAWING DATE: 2022-03-08

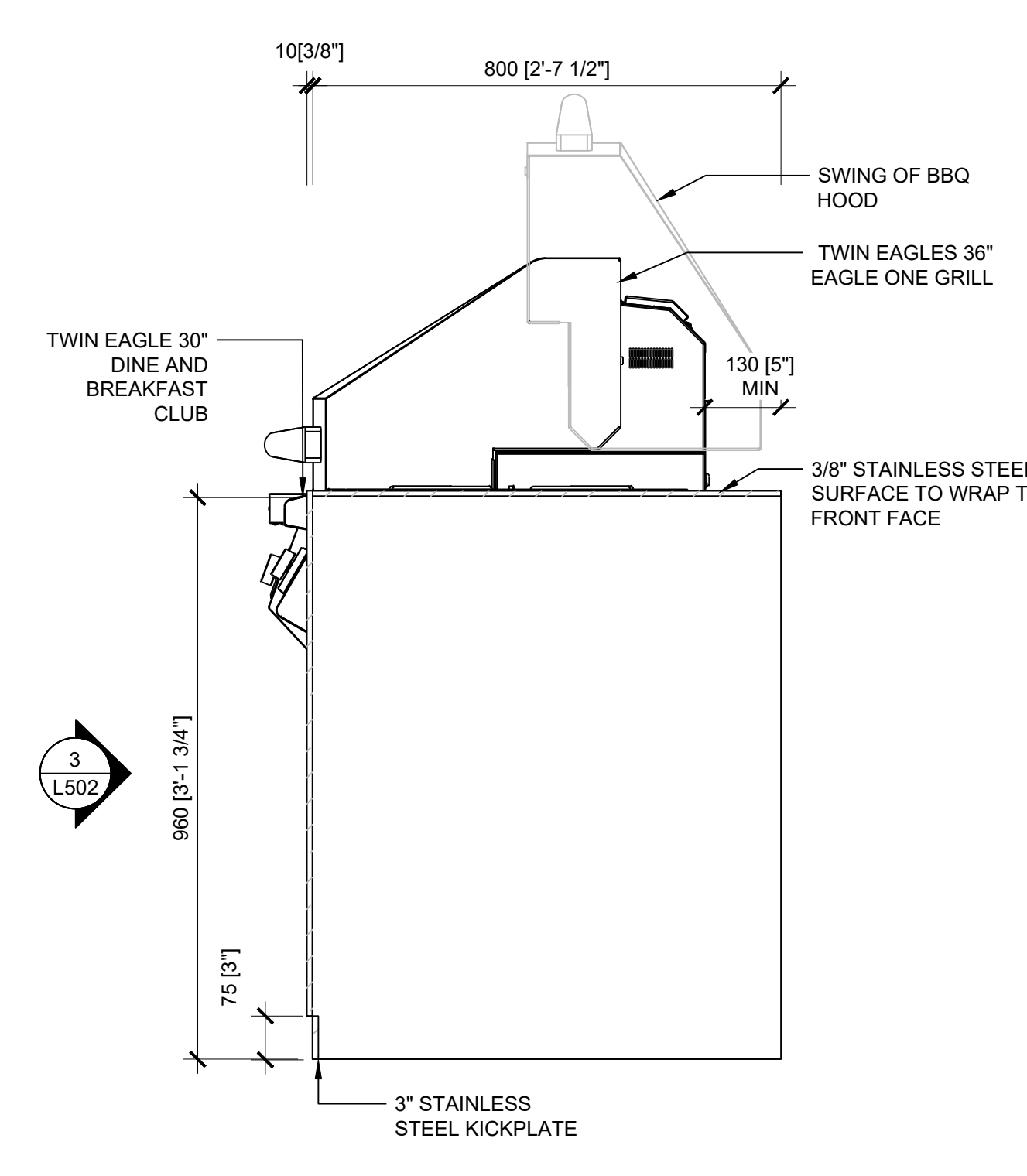
L502



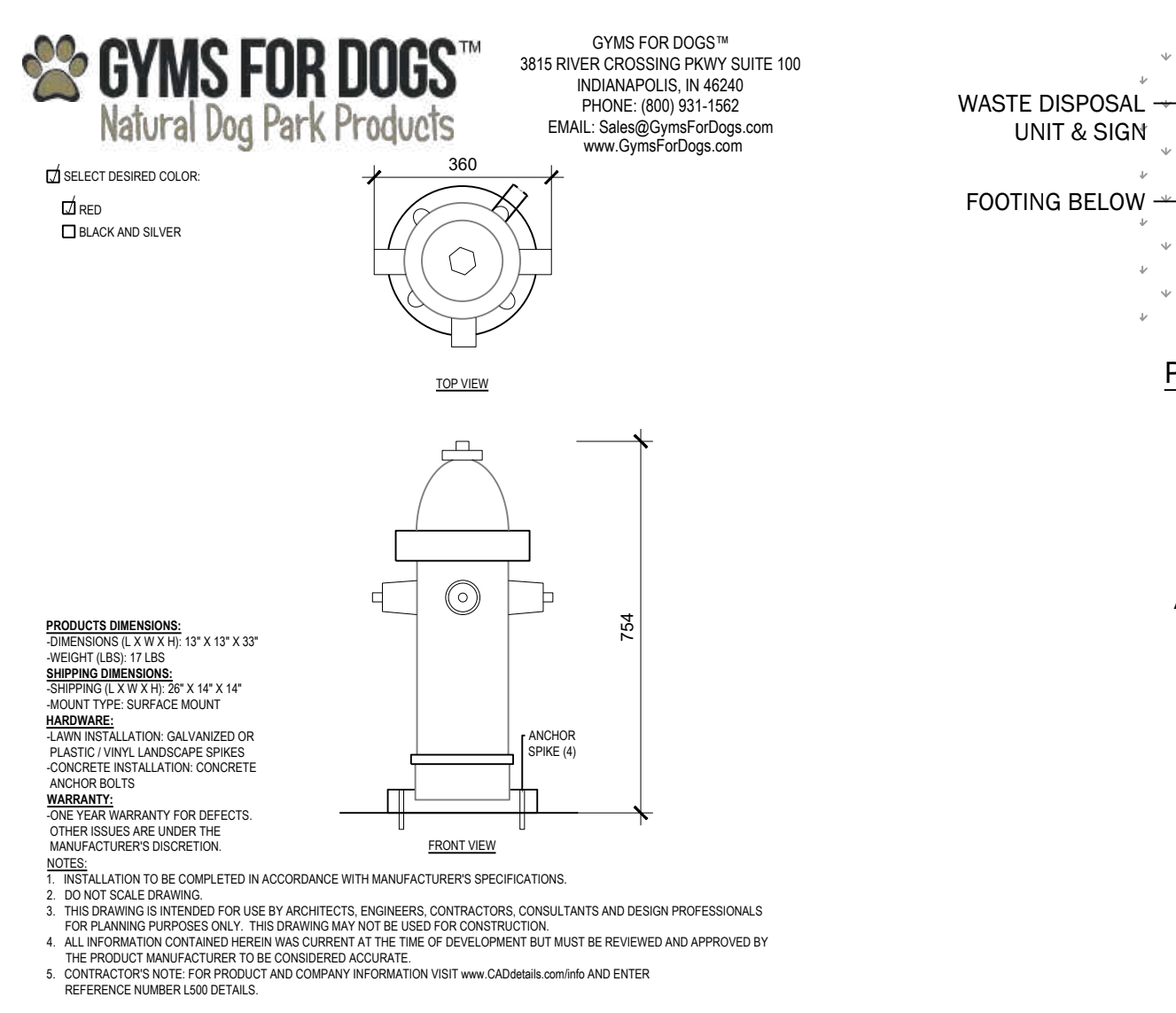
1 UNIT PAVERS ON HIGH PERFORMANCE BEDDING  
SCALE: 1 : 10



2 ARTIFICIAL TURF ON SLAB  
SCALE: 1 : 20



6 AMENITY TERRACE BBQ SIDE VIEW  
SCALE: 1 : 10



9 DECORATIVE FIRE HYDRANT  
SCALE: NTS

Eterna 100mm



Individual Stone 3/4 x 11 1/8" (103 x 283mm) Individually Packaged

Individual Stone 3/4 x 15 1/2" (103 x 393mm) Individually Packaged

20x40 Stone 7/8" x 23 1/2" (103 x 597mm) Individually Packaged

40x40 Stone 1 1/2" x 23 1/2" (103 x 597mm) Individually Packaged

3 ETERNA UNIT PAVER  
SCALE: NTS

Packaging Specs

ETERNA 100mm	BUNDLE SPECIFICATIONS		PER SECTION SPECIFICATIONS	
	LAYERS SQ. FT.	LN. FT.	SECTIONS SQ. FT.	LN. FT.
100x300 Stone	6	64	65 (includes 154.5 sq/ft)	198
100x400 Stone	6	57	43.3 (includes 173.3 sq/ft)	132
200x400 Stone	6	42	31.5 (includes 94.5 sq/ft)	48
400x400 Stone	5	64.6	32.2 (includes 69.2 sq/ft)	25

Recommended Uses

PRODUCT THICKNESS	SIZE	DRIVEWAY	PARKING LOT	RESIDENTIAL ROAD	MAIN STREET	EMERGENCY ROUTE	INDUSTRIAL AREA
Eterna 100mm	100x300 Stone	✓	✓	✓	✓	✓	✓
	100x400 Stone	✓	✓	✓	✓	✓	✓
	200x400 Stone	✓	✓	✓	✓	✓	✓
	400x400 Stone	✓	✓	✓	✓	✓	✓

Special Order

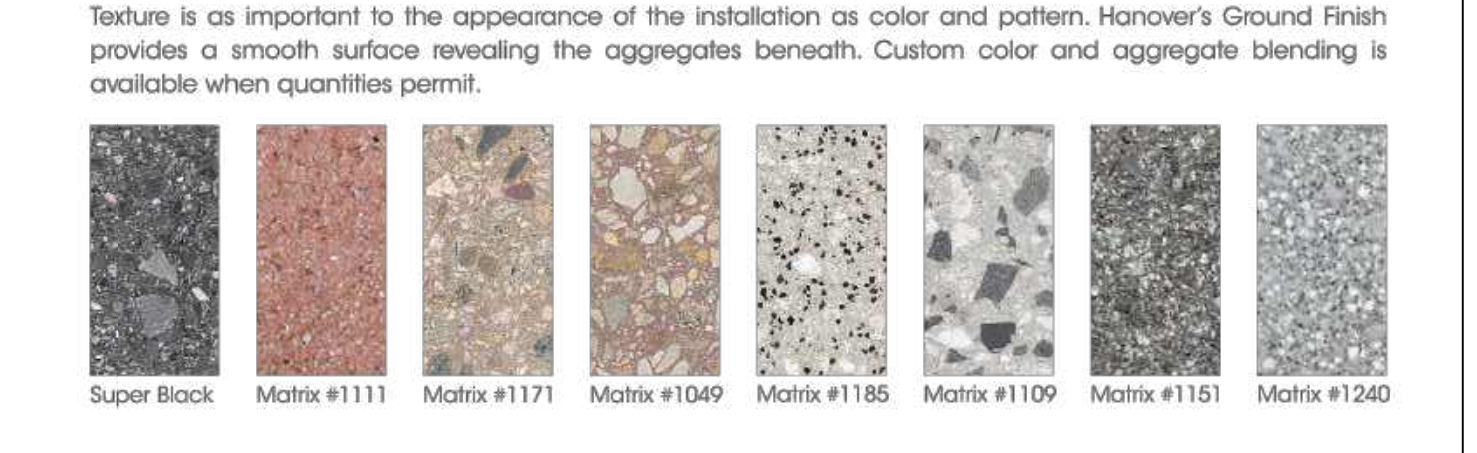


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Hanover® Prest® Pavers | STANDARD COLORS WITH TUDOR® FINISH



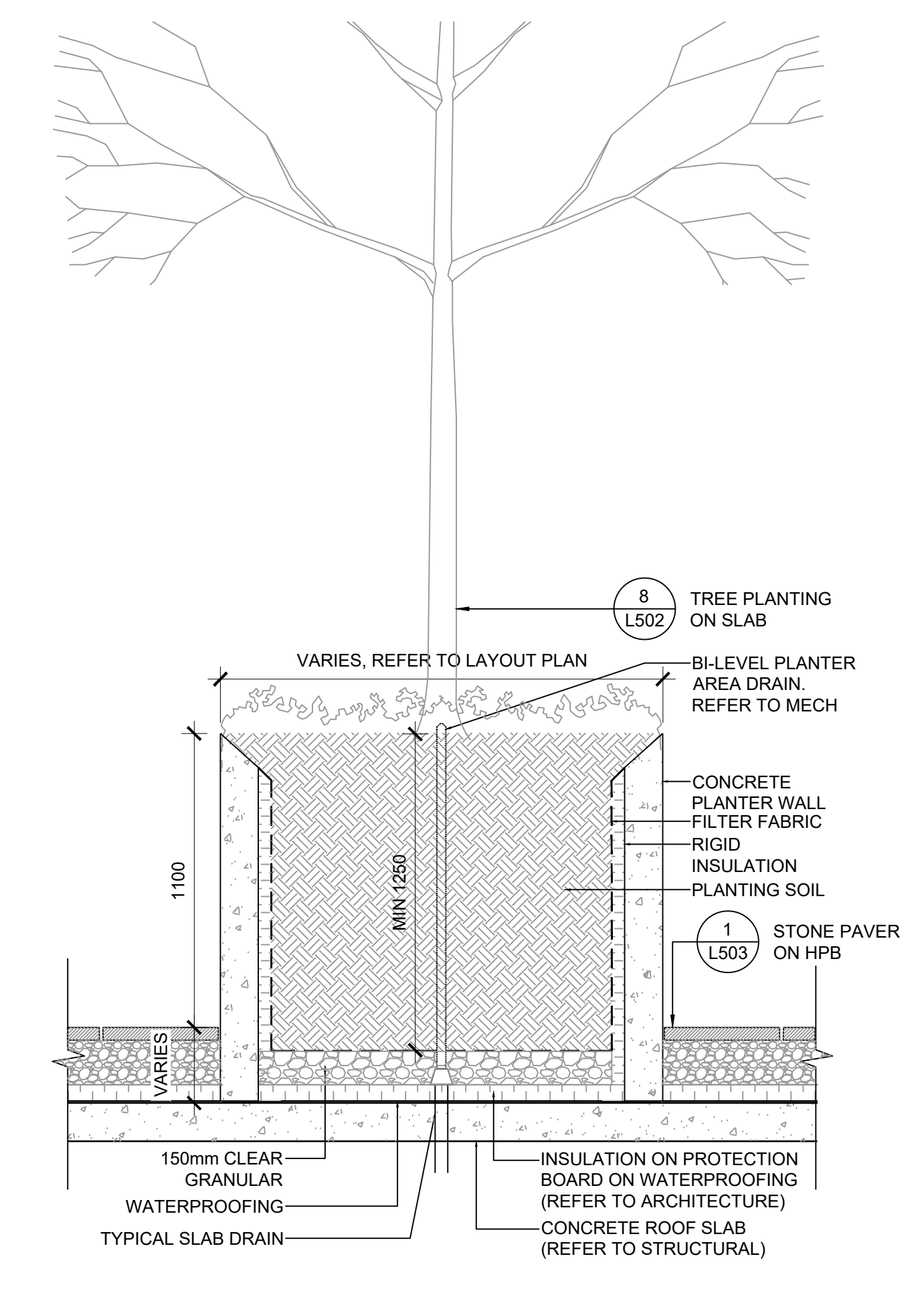
Prest® Paver Product Data | CUSTOM COLORS WITH GROUND FINISH



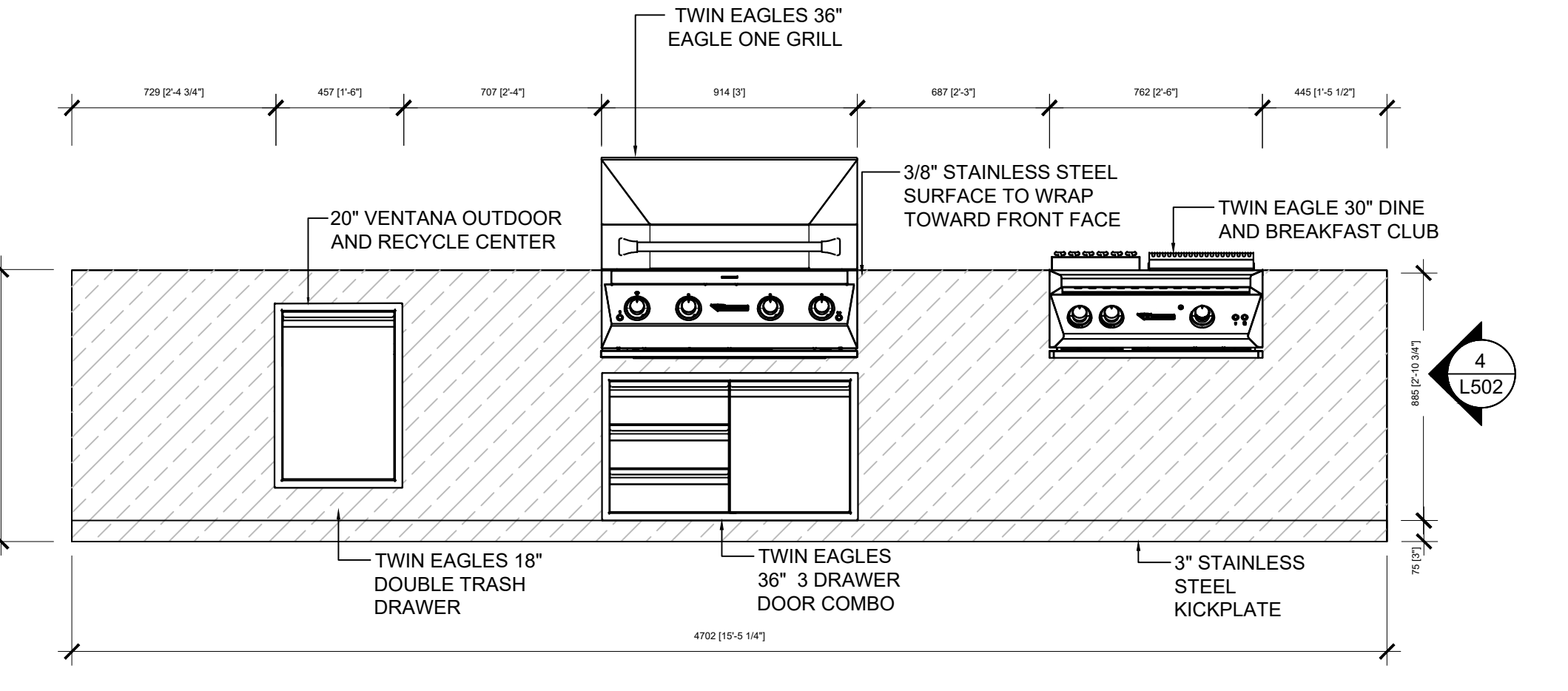
SLATEFACE® PREST® PAVER COLORS



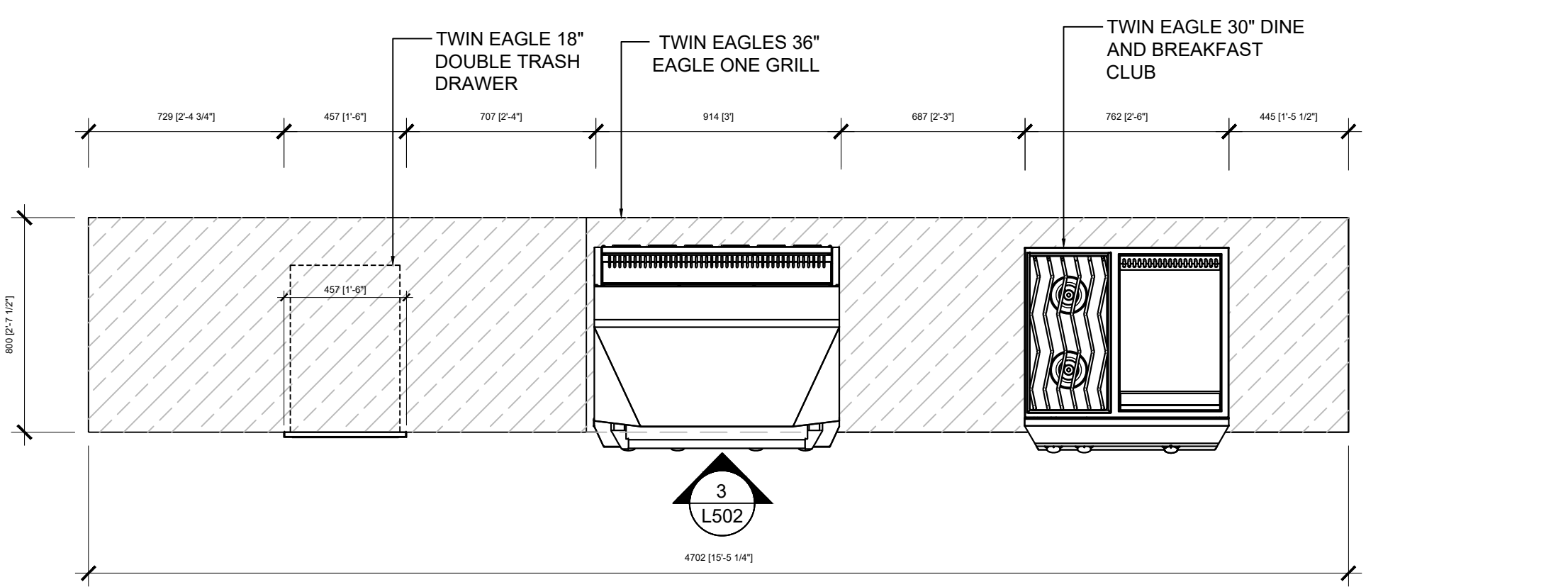
4 HANOVER UNIT PAVER  
SCALE: NTS



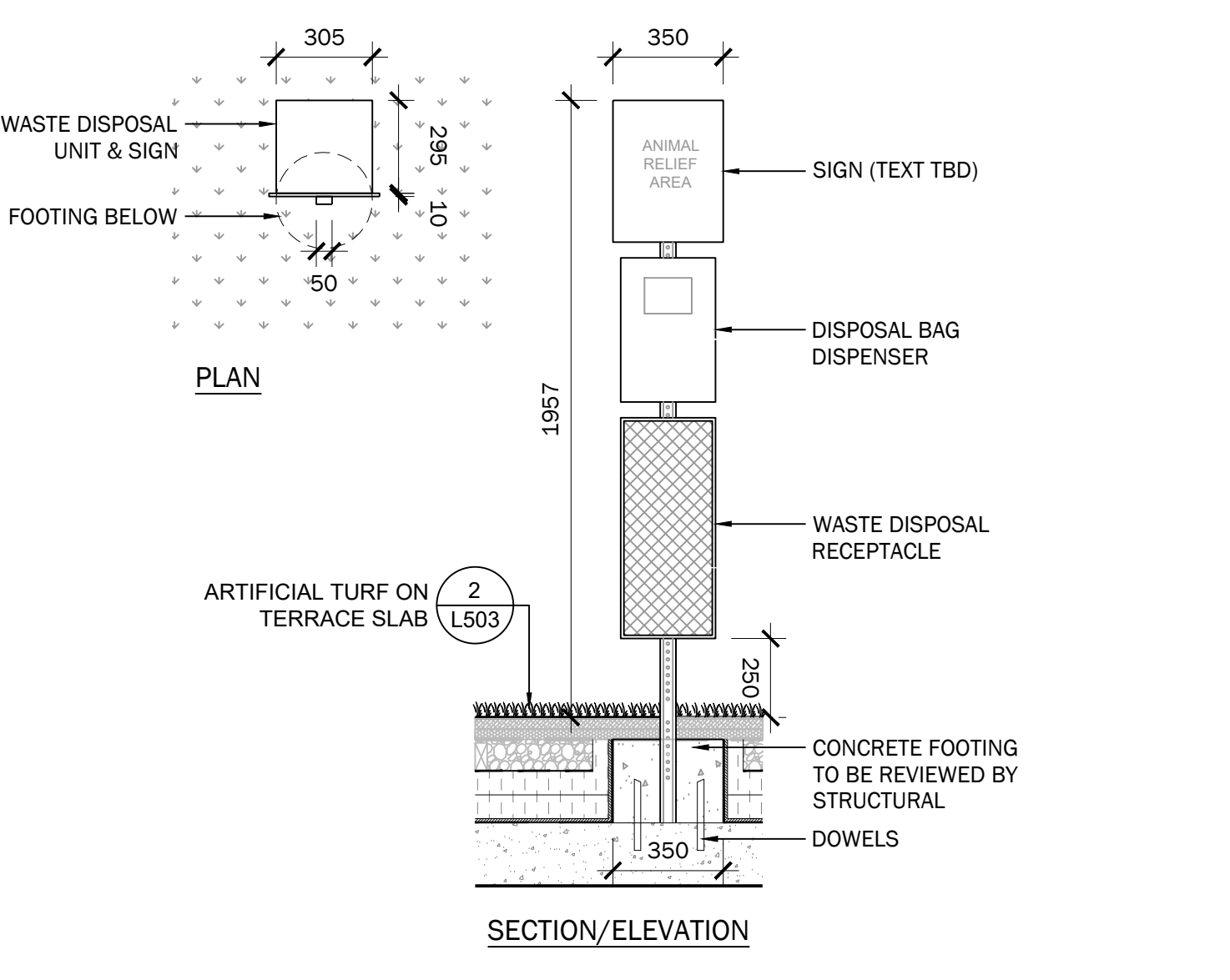
5 AMENITY TERRACE PLANTER  
SCALE: 1 : 10



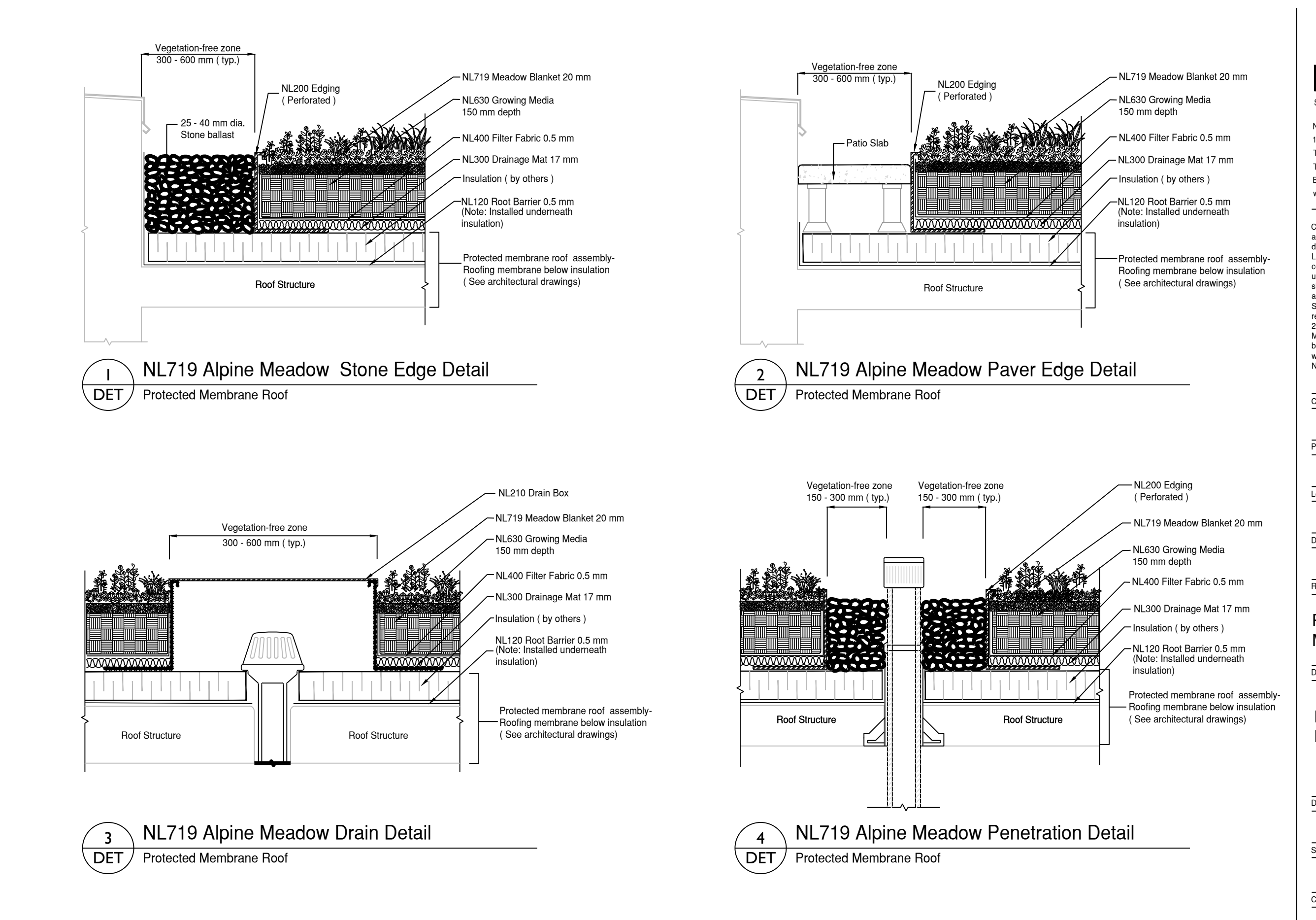
7 AMENITY TERRACE BBQ ELEVATION VIEW  
SCALE: 1 : 20



8 AMENITY TERRACE BBQ PLAN VIEW  
SCALE: 1 : 20



10 DOG RELIEF WASTE BIN  
SCALE: 1 : 20



11 INTENSIVE GREEN ROOF  
SCALE: NTS

Next Level™  
STORMWATER MANAGEMENT

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Protected Membrane Roof

NL719 Alpine Meadow

Order, Project Name, Location, Date, Roofing Assembly, Drawing Name, Drawing No., Size, Color

Wannsee Round 69230  
Available in 7 sizes

	Exterior	Interior	Opening
	Depth	Height	Length
6923015	15"	13"	13.5"
6923022	22"	19"	19.8"
6923027	27"	24"	24"
6923033	33"	29"	29"
6923039	39"	34"	35"
6923044	44"	39"	40"
6923050	50"	44"	45"

12 PLANTER POT  
SCALE: NTS

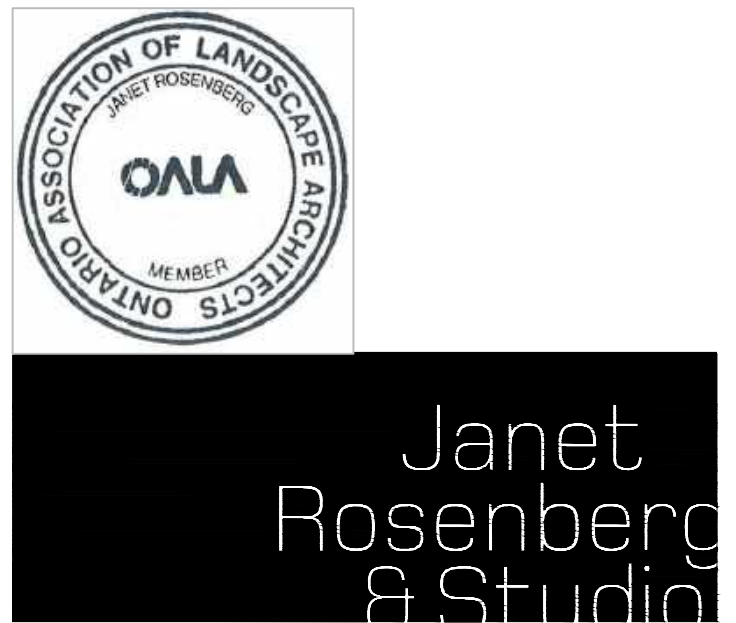
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LEGEND

ISSUE

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3	2024-10-04 ISSUED FOR OKAVILLE TOC
2	2024-03-27 ISSUED FOR SPA
1	2022-03-25 ISSUED FOR CO-ORDINATION



TOC DEVELOPMENT

CROSS AVENUE & ARGUS ROAD  
OKAVILLE, ONTARIO

LANDSCAPE DETAILS - AMENITY TERRACE

SCALE: AS SHOWN  
DRAWN: LR  
CHECKED: GH  
PROJECT NUMBER: 21-006  
DRAWING DATE: 2022-03-08

L503

# GROUND FLOOR



1 FEATURE UNIT PAVING  
SCALE: NTS

2 450mm HT. SEATWALL PLANTERS  
SCALE: NTS

3 150mm HT. PLANTERS  
SCALE: NTS



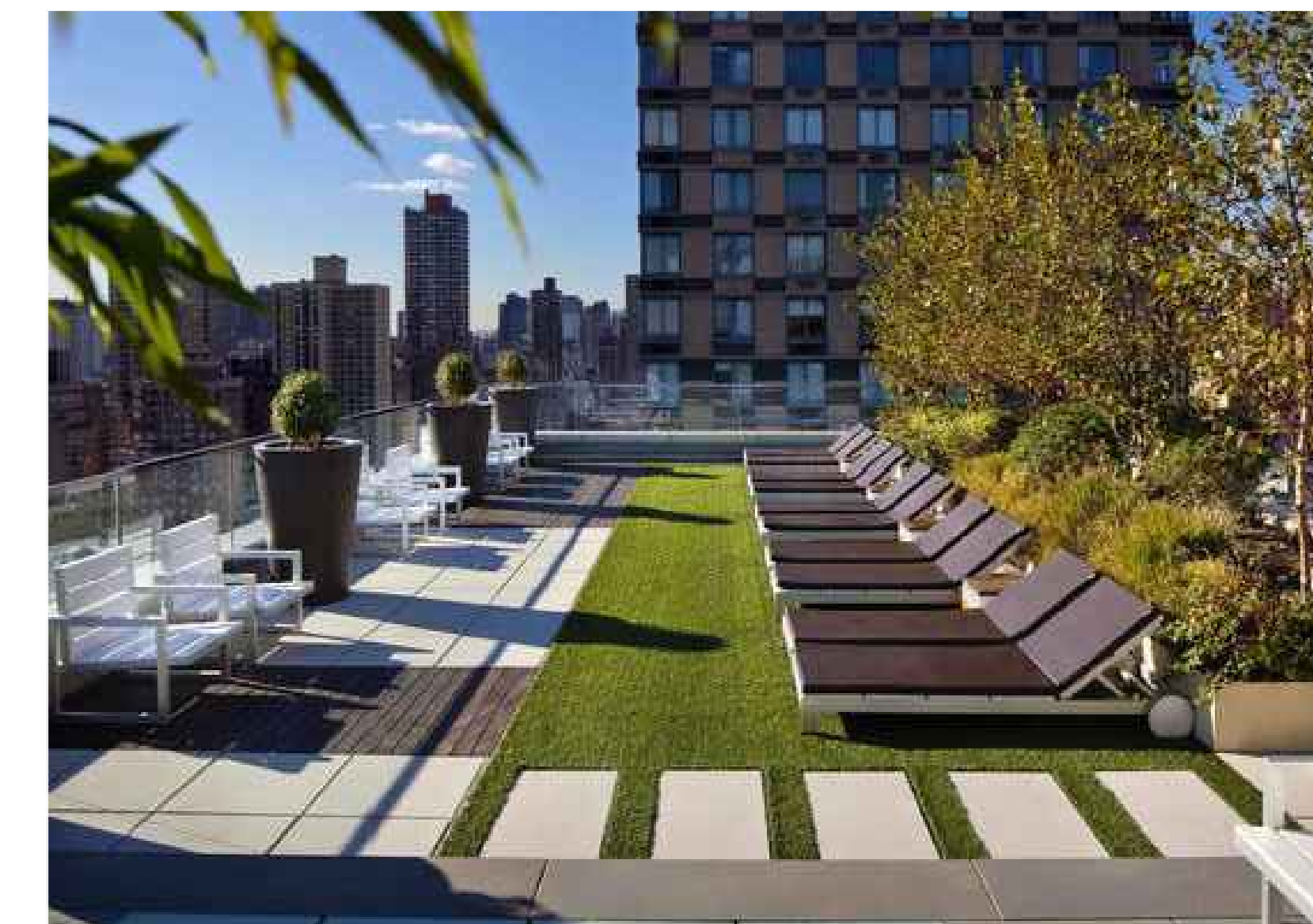
4 INTERIM CONDITION POCKET PARKS  
SCALE: NTS

5 WATER FEATURE  
SCALE: NTS

6 STREETSCAPE  
SCALE: NTS

7 PLATFORM BENCH WITH TREE  
SCALE: NTS

# AMENITY LEVEL 2

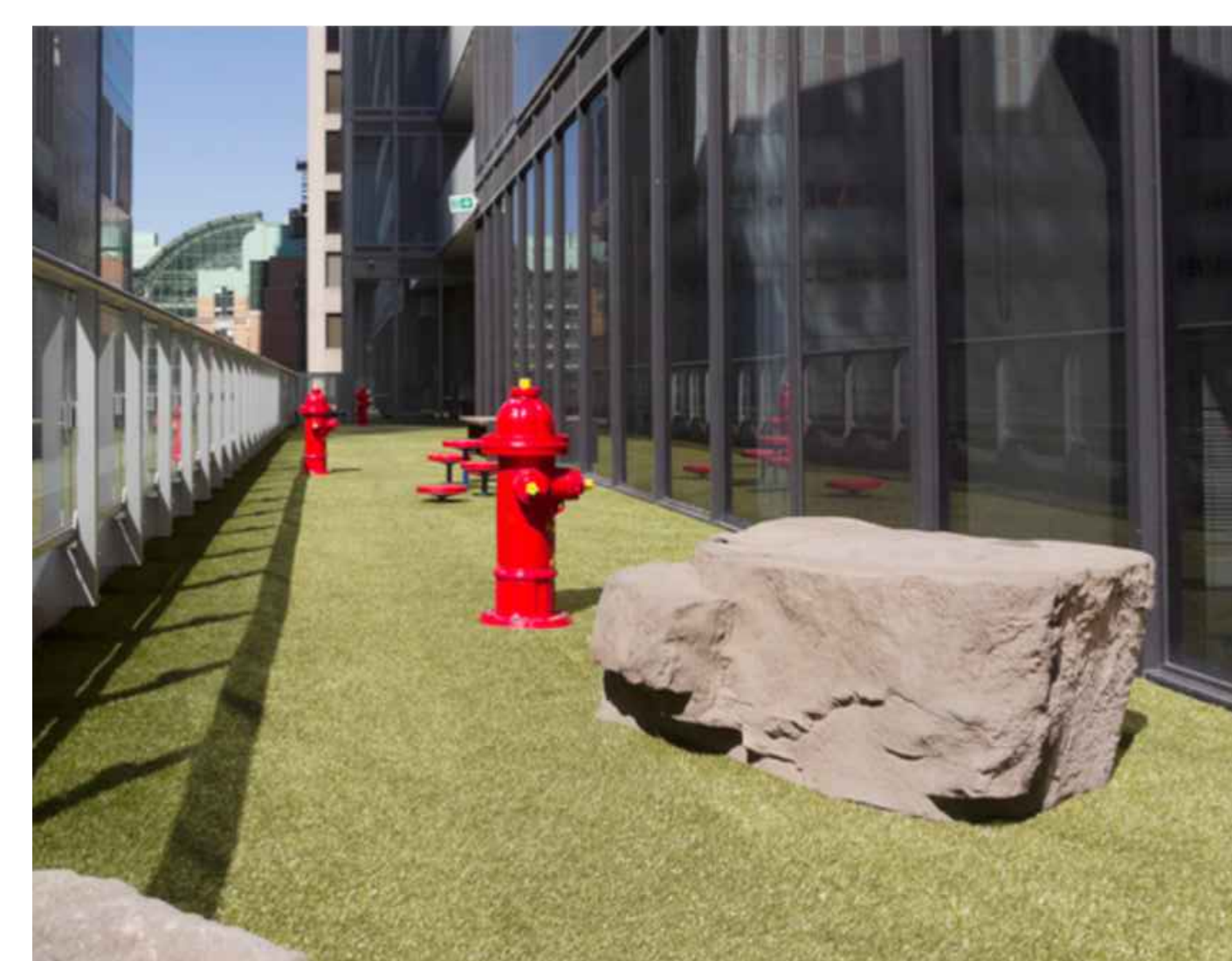


8 LOUNGE AREAS  
SCALE: NTS

9 OUTDOOR YOGA AREA  
SCALE: NTS

10 WELLNESS AREA  
SCALE: NTS

# AMENITY LEVEL 7



11 PET RELIEF AREA  
SCALE: NTS

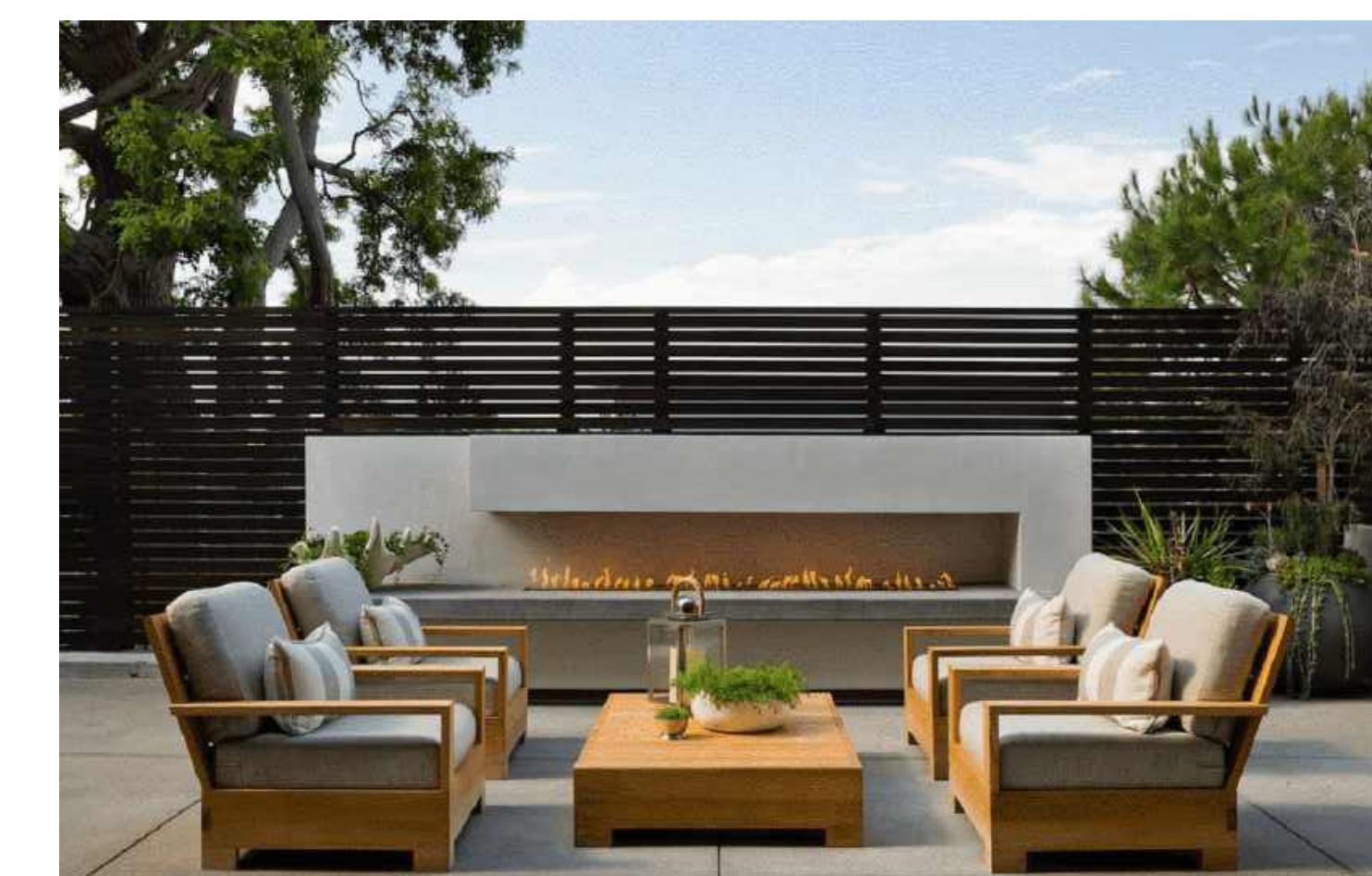
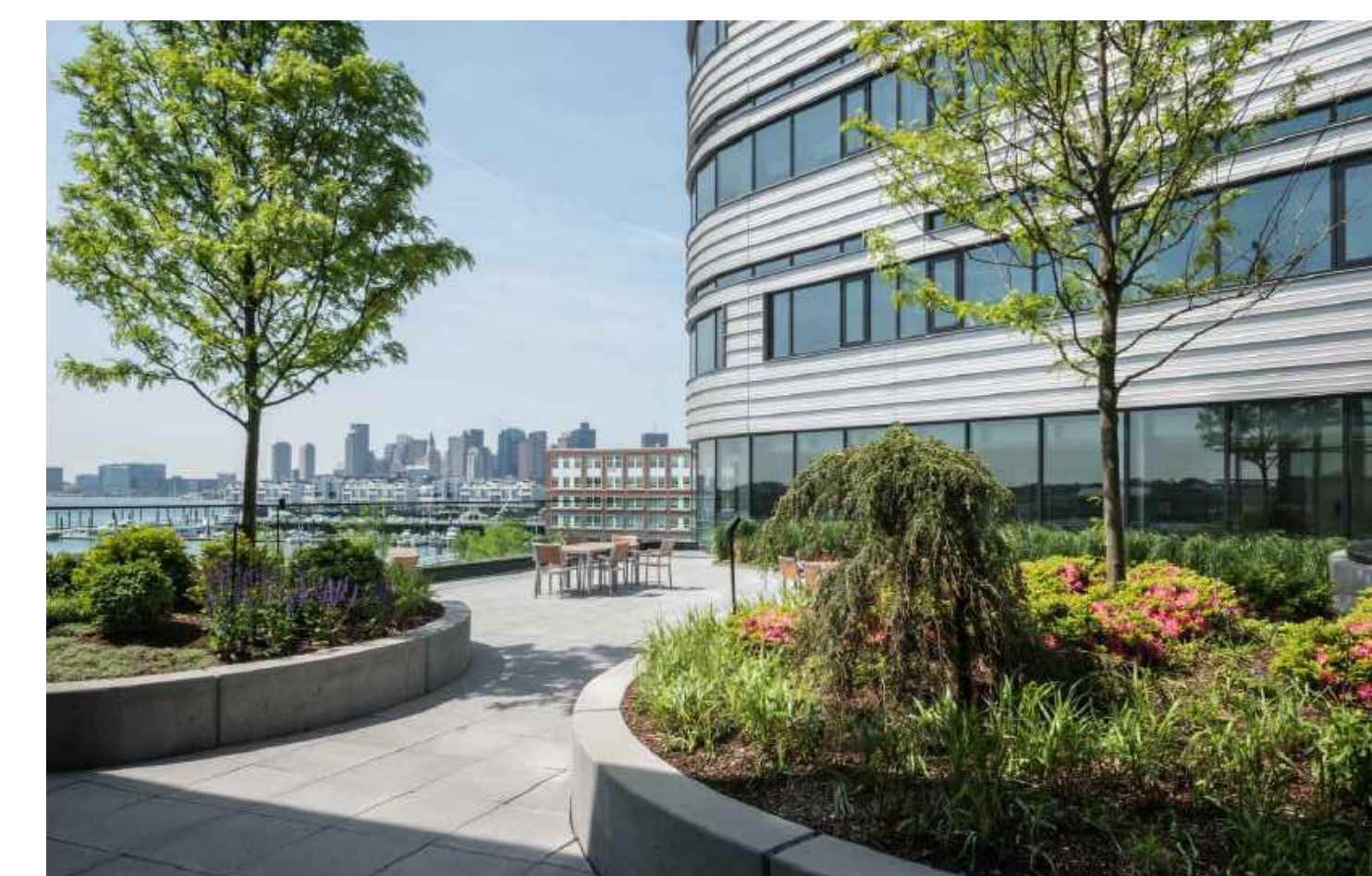
12 FITNESS AREA  
SCALE: NTS

13 CHILDRENS PLAY AREA  
SCALE: NTS

14 450mm HT. SEATWALL PLANTERS  
SCALE: NTS

15 LOUNGE AREAS  
SCALE: NTS

# AMENITY LEVEL 8



16 PERGOLA  
SCALE: NTS

17 450mm HT. SEATWALL PLANTERS  
SCALE: NTS

18 LOUNGE AREAS  
SCALE: NTS

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## LEGEND

## ISSUE

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Janet Rosenberg & Studio  
Landscape Architecture and Urban Design  
# 416-596-8888 # 416-596-1718 www.jrlandscapes.com  
148 Roswell Avenue, Toronto Ontario M6C 2E5 Canada

## TOC DEVELOPMENT

CROSS AVENUE & ARGUS ROAD  
OMNIVILLE, ONTARIO

## LANDSCAPE PRECEDENTS

SCALE:	AS SHOWN
DRAWN:	LR
CHECKED:	GH
PROJECT NUMBER:	21-006
DRAWING DATE:	2022-03-08

# L504

# 590 Argus Road TOC DEVELOPMENT APPLICATION

Oakville, Ontario

**Drawing List**

**Landscape Architecture:**

- L001 Title Sheet
- L100 Interim Ground Floor Plan
- L101 Ground Floor Plan
- L101A Courtyards Elements
- L102 Planting Plan
- L103 Tree Canopy Cover Plan
- L401 3rd and 4th Floor Amenity Space Diagram
- L501 Town of Oakville Details
- L502 Landscape Surfacing and Planting Details
- L503 Landscape Details

Rev. No.	Date	Revision Notes
01	2023-03-20	ISSUED FOR OPA/ZBA
02	2023-10-24	ISSUED FOR OPA/ZBA
03	2024-02-27	ISSUED FOR OPA/ZBA
04	2024-03-20	ISSUED FOR OPA/ZBA
05	2024-09-20	ISSUED FOR OAKVILLE TOC

**NOT FOR CONSTRUCTION**

**Zoning By-Law Amendment, Official Plan Amendment and Draft Plan of Subdivision 590 Argus Road**  
File: Z.1614.81, OPA 1614.81 & 24T-23001/1614

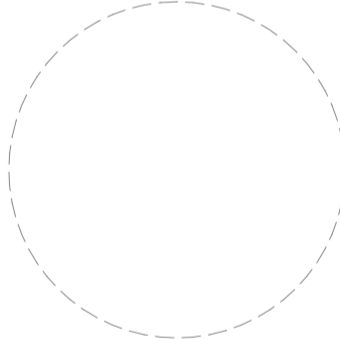
**Architect**  
Teepie Architects Inc.  
5 Camden Street, Toronto ON  
M5V 1V2

**Civil Engineer**  
Trafalgar Engineering Limited  
1-481 Morden Road, Oakville ON  
L6K 2W6

**Traffic Engineer**  
BA Consulting Group Limited  
300-45 St. Clair Avenue West, Toronto ON  
M4V 1K9

**Solid Waste Management**  
R.J. Burnside & Associates Limited  
1455 Pickering Parkway, Pickering ON  
L1V 7G7

**Planning**  
Bousfields Inc.  
3 Church Street, Toronto ON  
M5E 1M2



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Project  
**590 Argus Road Development**  
Oakville, Ontario

Drawing  
**Title Sheet**

Drawn By TL  
Scale As Noted  
Date 2024-03-20  
Reviewed By LW  
Project No.  
Drawing No. L001

Rev. No.	Date	Revision Notes
01	2023-03-20	ISSUED FOR OPA/ZBA
02	2023-10-24	ISSUED FOR OPA/ZBA
03	2024-02-14	ISSUED FOR OPA/ZBA
04	2024-02-27	ISSUED FOR OPA/ZBA
05	2024-03-20	ISSUED FOR OPA/ZBA
06	2024-08-23	ISSUED FOR COORDINATION
07	2024-09-20	ISSUED FOR OAKVILLE TOC

**NOT FOR CONSTRUCTION**

Zoning By-Law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
**590 Argus Road**  
 File: Z.1614.81, OPA 1614.81 & 24T-2001/1614

Architect  
 Teeple Architects Inc.  
 5 Camden Street, Toronto ON  
 M5V 1V2

Civil Engineer  
 Trafalgar Engineering Limited  
 1-481 Morden Road, Oakville ON  
 L6K 2W6

Traffic Engineer  
 BA Consulting Group Limited  
 300-45 St. Clair Avenue West, Toronto ON  
 M4V 1K9

Solid Waste Management  
 R.J. Burnside & Associates Limited  
 1455 Pickering Parkway, Pickering ON  
 L1V 7G7

Planning  
 Bousfields Inc.  
 3 Church Street, Toronto ON  
 M5E 1M2



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Project  
**590 Argus Road Development**  
 Oakville, Ontario

Drawing  
**Interim Ground Floor Plan**

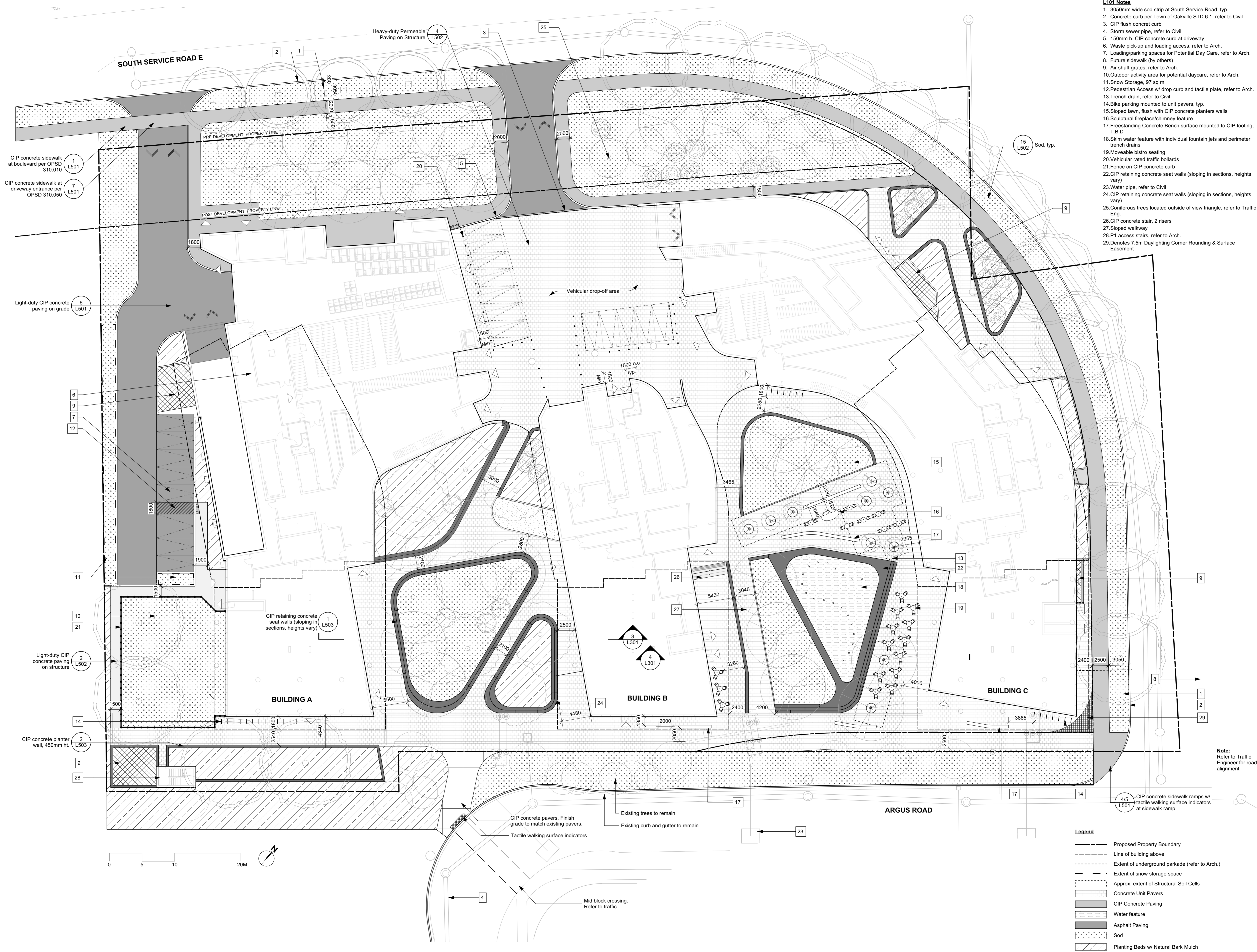
Drawn By  
 TL

Reviewed By  
 LW

Scale  
 1:250

Date  
 2024-08-23

Drawing No.  
**L100**



- L101 Notes**
- 3050mm wide sod strip at South Service Road, typ.
  - Concrete curb per Town of Oakville STD 6.1, refer to Civil
  - CIP flush concrete curb
  - Storm sewer pipe, refer to Civil
  - 150mm h. CIP concrete curb at driveway
  - Waste pick-up and loading access, refer to Arch.
  - Loading/parking spaces for Potential Day Care, refer to Arch.
  - Future sidewalk (by others)
  - Air shaft grates, refer to Arch.
  - Outdoor activity area for potential daycare, refer to Arch.
  - Snow Storage: 97 sq m
  - Pedestrian Access w/ drop curb and tactile plate, refer to Arch.
  - Trench drain, refer to Civil
  - Bike parking mounted to unit pavers, typ.
  - Sloped lawn, flush with CIP concrete planters walls
  - Sculptural fireplace/chimney feature
  - Freestanding Concrete Bench surface mounted to CIP footing, T.B.D
  - Skim water feature with individual fountain jets and perimeter trench drains
  - Moveable bistro seating
  - Vehicular rated traffic bollards
  - Fence on CIP concrete curb
  - CIP retaining concrete seat walls (sloping in sections, heights vary)
  - Water pipe, refer to Civil
  - CIP retaining concrete seat walls (sloping in sections, heights vary)
  - Coniferous trees located outside of view triangle, refer to Traffic Eng.
  - CIP concrete stair, 2 risers
  - Sloped walkway
  - P1 access stairs, refer to Arch.
  - Danotles 7.5m Daylighting Corner Rounding & Surface Easement

- Legend**
- Proposed Property Boundary
  - Line of building above
  - Extent of underground parkade (refer to Arch.)
  - Extent of snow storage space
  - Approx. extent of Structural Soil Cells
  - Concrete Unit Pavers
  - CIP Concrete Paving
  - Water feature
  - Asphalt Paving
  - Sod
  - Planting Beds w/ Natural Bark Mulch



Rev. No.	Date	Revision Notes
01	2023-03-20	ISSUED FOR OPA/ZBA
02	2023-10-24	ISSUED FOR OPA/ZBA
03	2024-02-14	ISSUED FOR OPA/ZBA
04	2024-02-27	ISSUED FOR OPA/ZBA
05	2024-03-20	ISSUED FOR OPA/ZBA
06	2024-08-23	ISSUED FOR COORDINATION
07	2024-09-20	ISSUED FOR OAKVILLE TOC

**NOT FOR CONSTRUCTION**

Zoning By-law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
**590 Argus Road**  
 File: Z.1614.81, OPA 1614.81 & 24T-23001/1614

Architect  
 Teeple Architects Inc.  
 5 Camden Street, Toronto ON  
 M5V 1V2

Civil Engineer  
 Trafalgar Engineering Limited  
 1481 Morden Road, Oakville ON  
 L6K 2W6

Traffic Engineer  
 BA Consulting Group Limited  
 300-45 St. Clair Avenue West, Toronto ON  
 M4V 1K9

Solid Waste Management  
 R.J. Burnside & Associates Limited  
 1455 Pickering Parkway, Pickering ON  
 L1V 7G7

Planning  
 Bousfields Inc.  
 3 Church Street, Toronto ON  
 M5E 1M2



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Project  
**590 Argus Road Development**  
 Oakville, Ontario

Drawing  
**Ground Floor Plan**

Drawn By  
 TL

Scale  
 1:250

Date  
 2024-09-06

Reviewed By  
 LW

Project No.

Drawing No.



- L101 Notes**
- 3050mm wide sod strip at South Service Road, typ.
  - Concrete curb per Town of Oakville STD 6.1, refer to Civil
  - Storm sewer pipe, refer to Civil
  - 150mm h. CIP concrete curb at driveway
  - Waste pick-up and loading access, refer to Arch.
  - Loading/parking spaces for Potential Day Care, refer to Arch.
  - Future sidewalk (by others)
  - Air shaft grates, refer to Arch.
  - Outdoor activity area for potential daycare, refer to Arch.
  - Show Storage, 97 sq m
  - 2350mm wide sod strip at Argus Road, typ.
  - Pedestrian Access w/ drop curb and tactile plate, refer to Arch.
  - 1.8m bike lane, refer to Traffic and Civil Engineering
  - Trench drain, refer to Civil
  - Bike parking mounted to CIP concrete paving, typ.
  - Freestanding Concrete Bench surface mounted to CIP footing, T.B.D
  17. Vehicular rated traffic bollards
  - Fence on CIP concrete curb
  - Water pipe, refer to Civil
  - CIP concrete stair, 2 risers
  - Sloped walkway
  - P1 access stairs, refer to Arch.
  - Denotes 7.5m Daylighting Corner Rounding & Surface Easement

**Deciduous Trees On R.O.W**

- Tulip Tree
- Red Maple

**Deciduous Trees On Private Property**

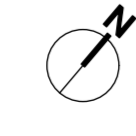
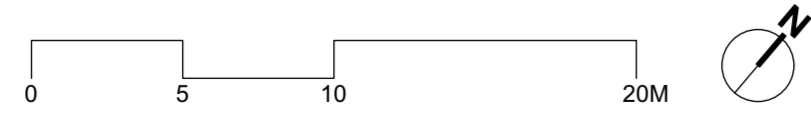
- Tulip Tree
- Honeylocust
- Turkish Hazel
- Ironwood
- Showy Mountain Ash

**Coniferous Trees On Private Property**

- Jack Pine
- Swiss Stone Pine

**Legend**

- Proposed Property Boundary
- Line of building above
- Extent of snow storage space
- Approx. extent of Structural Soil Cells
- Concrete Unit Pavers
- CIP Concrete Paving
- Water feature
- Asphalt Paving
- Sod
- Planting Beds w/ Natural Bark Mulch





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06	2024-08-23	ISSUED FOR COORDINATION
07	2024-09-20	ISSUED FOR TOC SUBMISSION



SLOPED LAWNS



SCULPTURAL FIREPLACE FEATURE



SKIM WATER FEATURE WITH JETS



MOVEABLE SEATING



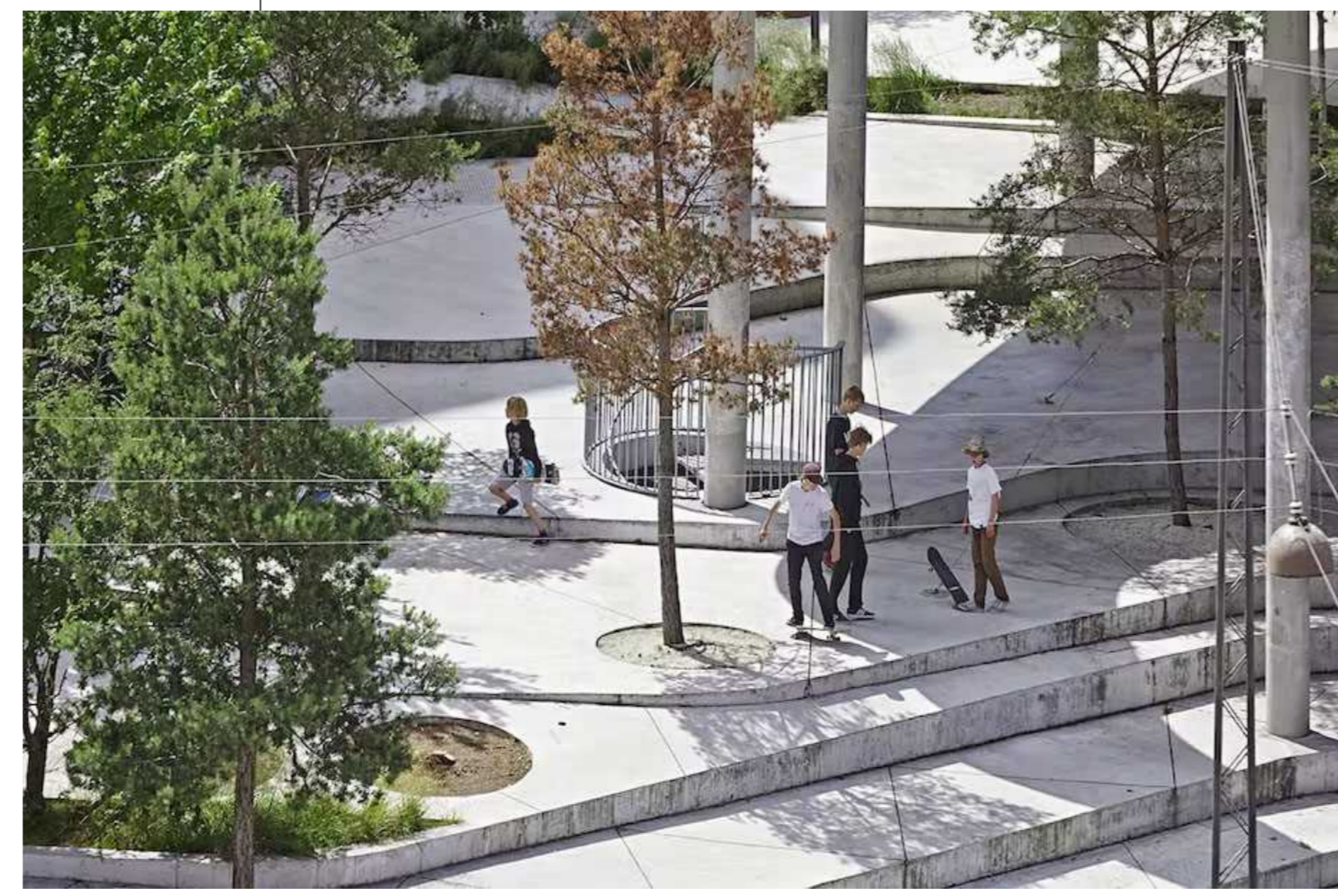
NATIVE TREE, SHRUB & PERENNIAL PLANTING



PAVING PATTERN



LAWN WITH SHADE TREES



SCULPTURAL SEATWALLS



CONCRETE BENCHES

**NOT FOR CONSTRUCTION**

Zoning By-Law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
 590 Argus Road  
 File: Z.1614.81, OPA 1614.81 & 24T-23001/1614

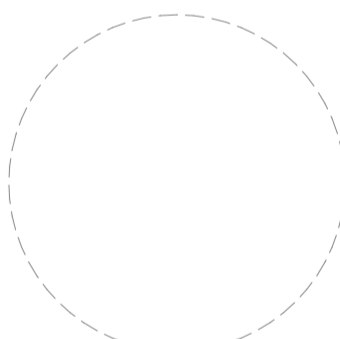
Architect  
 Teeple Architects Inc.  
 5 Camden Street, Toronto ON  
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 Trafalgar Engineering Limited  
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Solid Waste Management  
 R.J. Burnside & Associates Limited  
 1455 Pickering Parkway, Pickering ON  
 L1V 7G7

Planning  
 Bousfields Inc.  
 3 Church Street, Toronto ON  
 M5E 1M2



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Project  
**590 Argus Road Development**  
 Oakville, Ontario

Drawing  
**Courtyards Elements**

Drawn By  
 TL

Reviewed By  
 LW

Scale  
 1:250

Project No.

Date  
 2024-09-06

Drawing No.

Rev. No.	Date	Revision Notes
01	2023-03-20	ISSUED FOR OPA/ZBA
02	2023-10-24	ISSUED FOR OPA/ZBA
03	2024-02-14	ISSUED FOR OPA/ZBA
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05	2024-03-20	ISSUED FOR OPA/ZBA
06	2024-09-20	ISSUED FOR OAKVILLE TOC

**NOT FOR CONSTRUCTION**

Zoning By-law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
 590 Argus Road  
 File: Z.1614.81, OPA 1614.81 & 24T-23001/1614

Architect  
 Teeple Architects Inc.  
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Traffic Engineer  
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 Bousfields Inc.  
 3 Church Street, Toronto ON  
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Project  
 590 Argus Road Development  
 Oakville, Ontario

Drawing  
**Planting Plan**

Drawn By  
 TL  
 Scale  
 1:250  
 Date  
 2024-03-20

Reviewed By  
 LW  
 Project No.  
 Drawing No.  
**L102**

**L102 Notes**

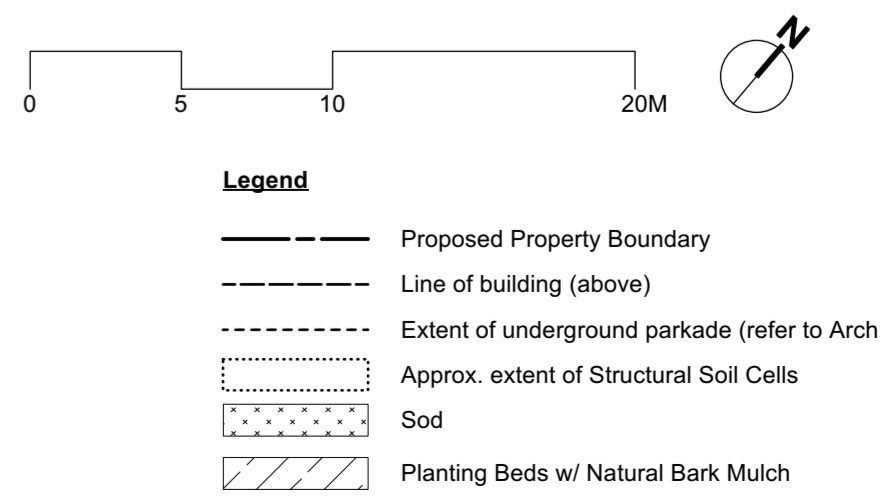
- Planting bed w/ natural bark mulch and shrub planting, typ. See 3/L503.
- Extent of soil cell system below
- Water pipe, refer to Civil
- Storm sewer pipe, refer to Civil
- 2350mm wide sod strip at Argus Road, typ.
- Storm sewer pipe, refer to Civil



Symbol	Qty	Common Name	Botanical Name	Spacing	Scheduled Size
<b>TREES ON PRIVATE PROPERTY</b>					
Deciduous - Large Stature Trees					
	18	Tulip Tree	<i>Liriodendron tulipifera</i>	12000	Native to Ontario
	5	Red Maple	<i>Acer rubrum</i>	10000	Native to Ontario
Deciduous - Medium Stature Trees					
	23	Honeylocust	<i>Gleditsia triacanthos var. inermis 'Skyline'</i>	8000	Native to Ontario, Drought Tolerant
	8	Turkish Hazel	<i>Corylus colurna</i>	7000	Drought Tolerant

<b>PLANTING SCHEDULE</b>					
Symbol	Qty	Common Name	Botanical Name	Spacing	Scheduled Size
<b>TREES ON R.O.W</b>					
Deciduous Trees					
	3	Tulip Tree	<i>Liriodendron tulipifera</i>	12000	Native to Ontario
	4	Red Maple	<i>Acer rubrum</i>	10000	Native to Ontario

Symbol	Qty	Common Name	Botanical Name	Spacing	Notes
<b>Deciduous - Small Stature Trees (3-9m spread)</b>					
	3	Ironwood	<i>Ostrya virginiana</i>	3000	Native to Ontario
	10	Showy Mountain Ash	<i>Sorbus decora</i>	3000	Native to Ontario
<b>Coniferous Trees</b>					
	3	Jack Pine	<i>Pinus banksiana</i>	3000	Native to Ontario
	21	Swiss stone pine	<i>Pinus cembra</i>	2500	Drought Tolerant



**Note:**  
 Refer to Traffic Engineer for road alignment



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**NOT FOR CONSTRUCTION**

Zoning By-law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
 590 Argus Road  
 File: Z.1614.81, OPA 1614.81 & 24T-2001/1614

Architect  
 Teeple Architects Inc.  
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 1-481 Morden Road, Oakville ON  
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Traffic Engineer  
 BA Consulting Group Limited  
 300-45 St. Clair Avenue West, Toronto ON  
 M4V 1K9

Solid Waste Management  
 R.J. Burnside & Associates Limited  
 1455 Pickering Parkway, Pickering ON  
 L1V 7G7

Planning  
 Bousfields Inc.  
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Project  
 590 Argus Road Development  
 Oakville, Ontario

Drawing  
 Tree Canopy Cover Plan

Drawn By  
 TL

Reviewed By  
 LW

Scale  
 1:250

Date  
 2024-02-27

Project No.  
 Drawing No.



Canopy Calculation Chart Template

File Number	File Name	Canopy Cover Target
		20%

Tree #	Species	Stature (S, M, L)	Soil Volume per Tree (m3)	Canopy Area (m2)	Canopy Area Sub-total (m2)
01-02	Liriodendron tulipifera	L	30	297	
03-04	Liriodendron tulipifera	L	30	297	
05-12	Gleditsia trachanthos var. inermis 'Skyline'	M	30	700.8	
13-15	Gleditsia trachanthos var. inermis 'Skyline'	M	30	235.5	
16	Gleditsia trachanthos var. inermis 'Skyline'	M	30	287.2	
17-18	Corylus colurna	M	30		
19	Corylus colurna	M	30		
20	Sorbus decora	S	30		
21	Ostrya virginiana	S	30		
22-24	Corylus colurna	M	30	424	
25-27	Gleditsia trachanthos var. inermis 'Skyline'	M	30		
28	Sorbus decora	S	30		
29-30	Ostrya virginiana	S	30		
31-32	Corylus colurna	M	30	157.2	
33-35	Gleditsia trachanthos var. inermis 'Skyline'	M	30	187.3	
36-43	Sorbus decora	S	30	56.5	
44-46	Gleditsia trachanthos var. inermis 'Skyline'	M	30	221.6	
47-48	Gleditsia trachanthos var. inermis 'Skyline'	M	30	146.4	
<b>Subtotal of Proposed Canopy</b>					<b>3010.5</b>

Existing Canopy on Site	Subtotal of Existing Canopy	N/A
-------------------------	-----------------------------	-----

Existing Canopy Overhanging Site	Subtotal of Existing Overhanging Canopy	N/A
----------------------------------	---	-----

Total # of Trees	49
Total Canopy Area (m2)	3010.5

Canopy Summary	Total Site Area (m2)	12004
Site Canopy Cover	25.079%	
Canopy Cover Target by Land Use	20%	

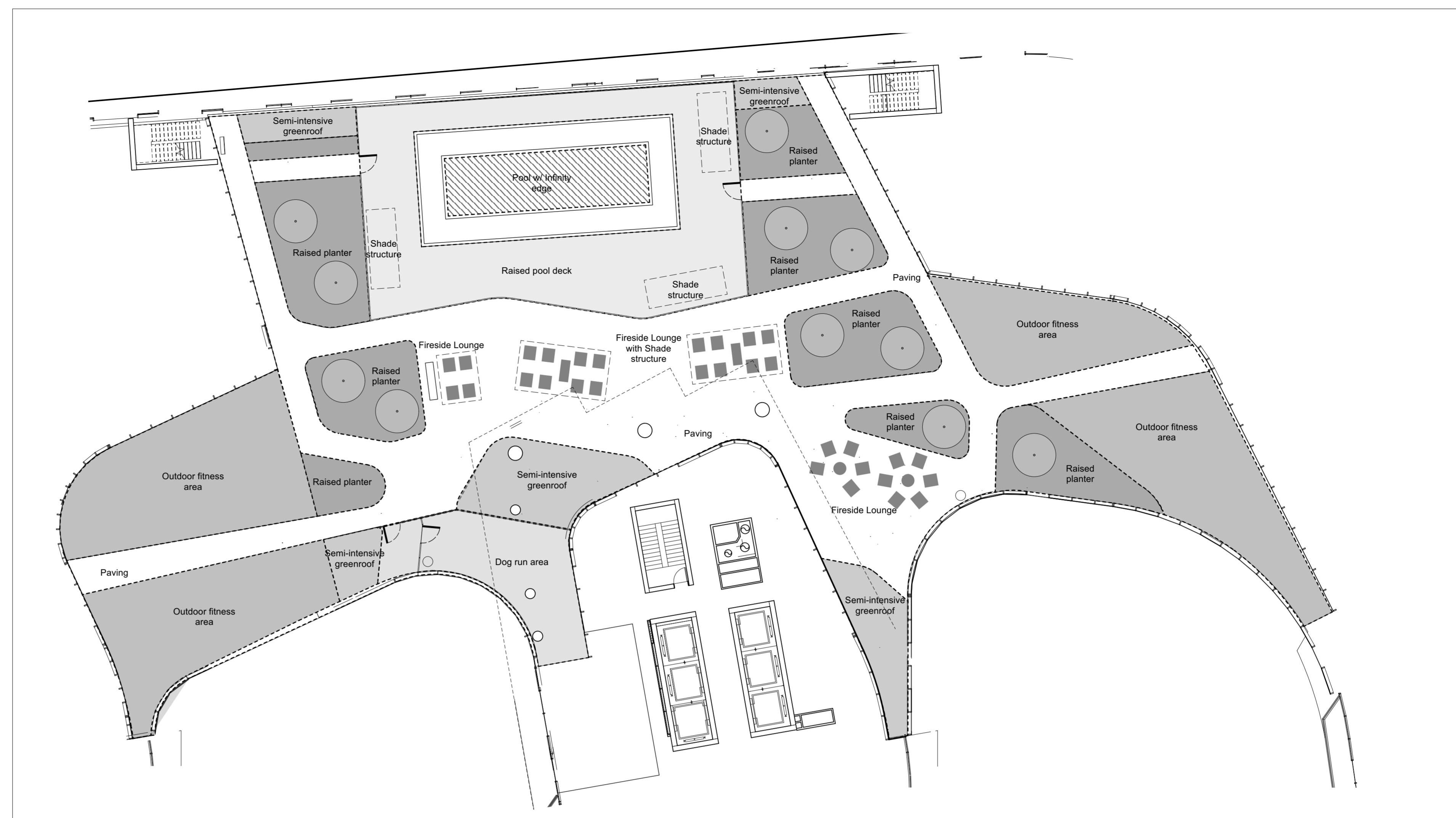
Parking Area Summary	Total Parking Spaces Proposed	N/A
Total # of Trees in or within 5m of Parking Area	N/A	



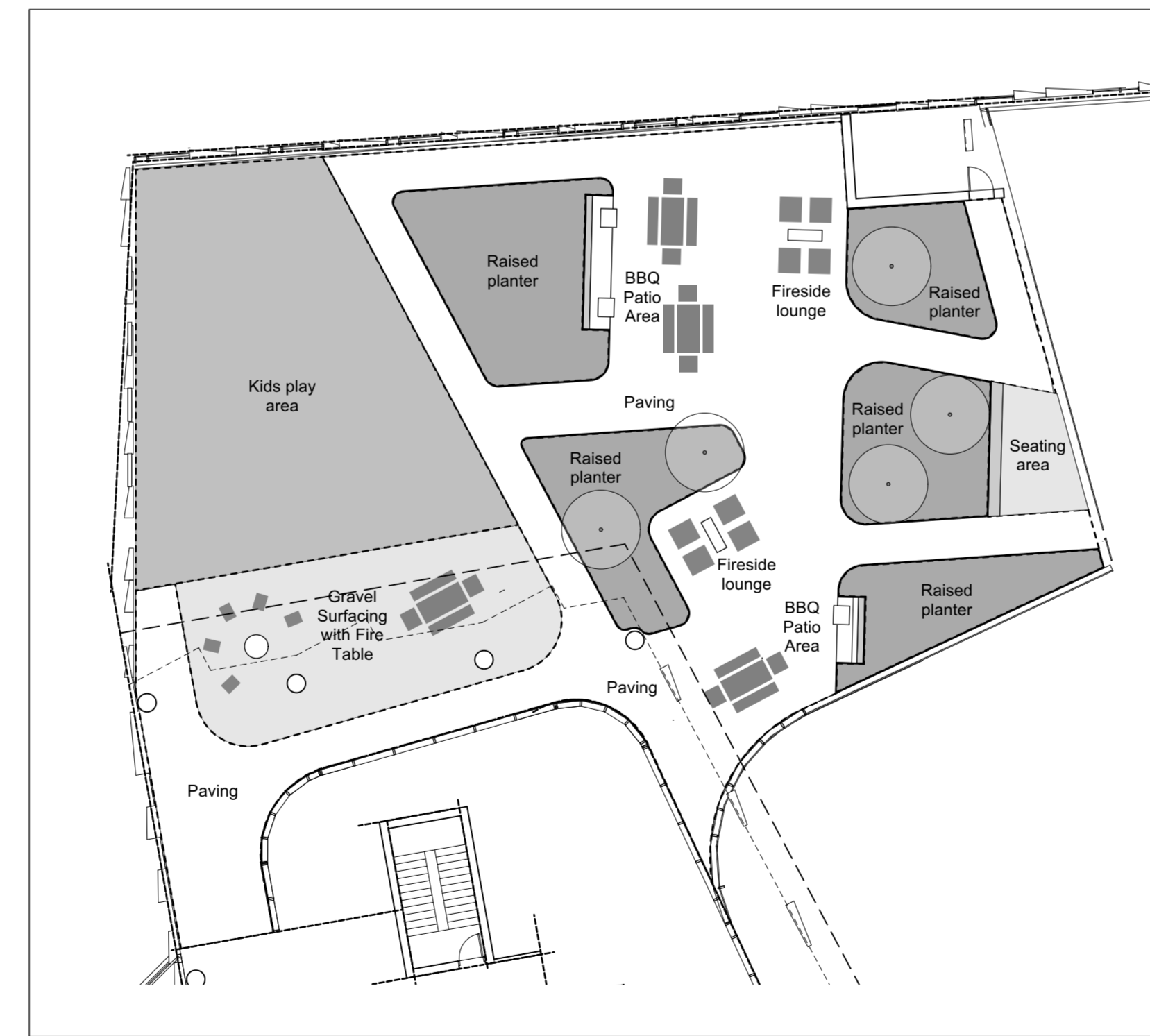
- Legend**
- Proposed Property Boundary
  - Line of building (above)
  - Extent of underground parkade (refer to Arch.)
  - Approx. extent of Structural Soil Cells
  - Tree Canopy Area



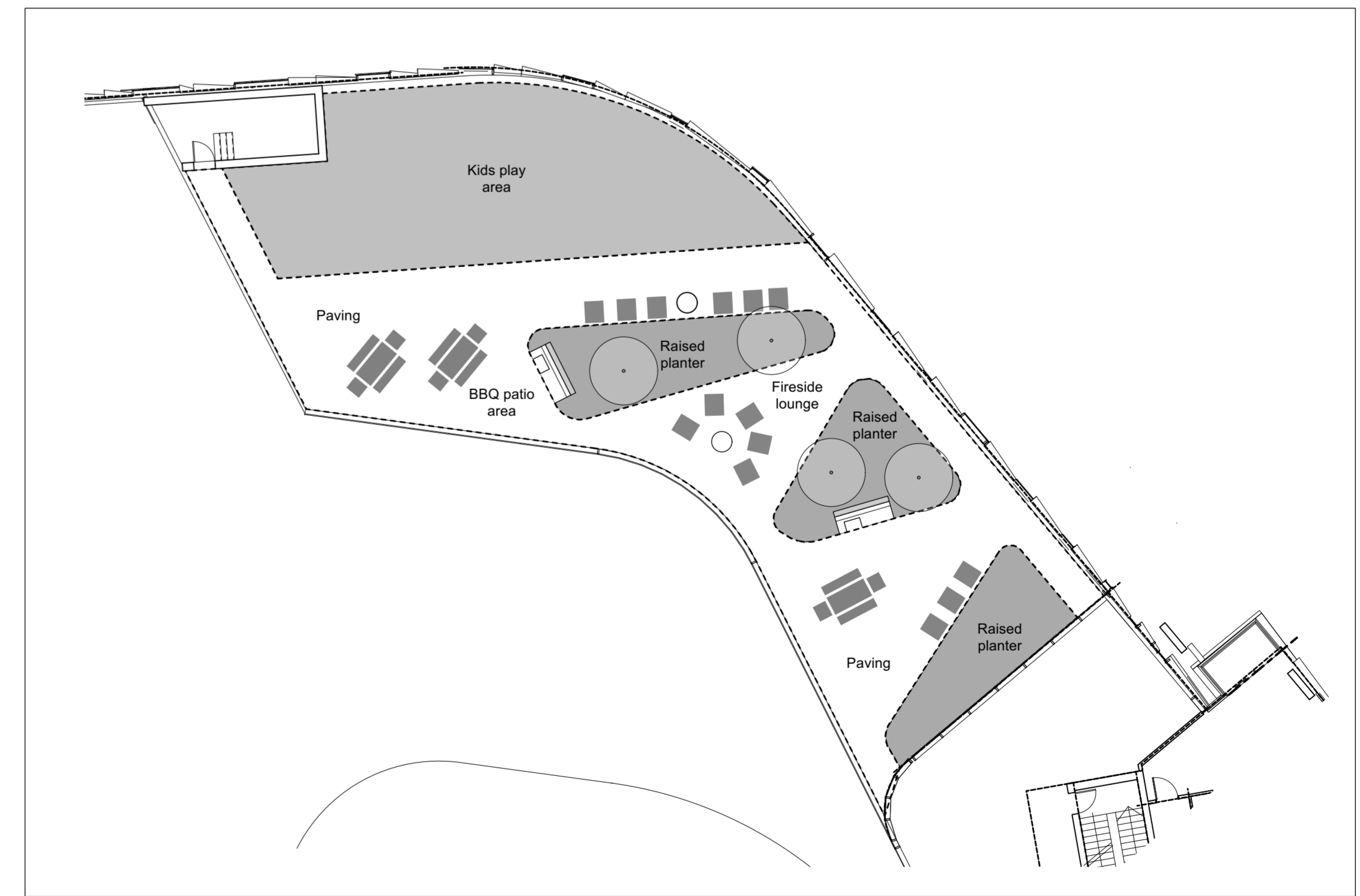
Rev. No.	Date	Revision Notes
01	2024-09-20	ISSUED FOR OAKVILLE TOC



1 3rd Floor Amenity Space Plan  
 Scale: 1:200



2 4th Floor Amenity Space Plan West  
 Scale: 1:200



3 4th Floor Amenity Space Plan East  
 Scale: 1:200

**NOT FOR CONSTRUCTION**

Zoning By-law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
 590 Argus Road  
 File: Z.1614.81, OPA 1614.81 & 24T-23001/1614

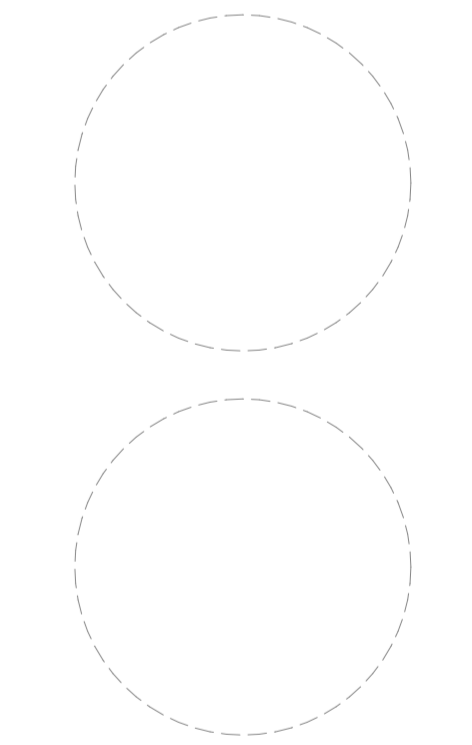
Architect  
 Teeple Architects Inc.  
 5 Camden Street, Toronto ON  
 M5V 1V2

Civil Engineer  
 Trafalgar Engineering Limited  
 1-481 Morden Road, Oakville ON  
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Traffic Engineer  
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 300-45 St. Clair Avenue West, Toronto ON  
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Solid Waste Management  
 R.J. Burnside & Associates Limited  
 1455 Pickering Parkway, Pickering ON  
 L1V 7G7

Planning  
 Bousfields Inc.  
 3 Church Street, Toronto ON  
 M5E 1M2



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Project  
 590 Argus Road Development  
 Oakville, Ontario

Drawing  
 3rd and 4th Floor  
 Amenity - Diagrams

Drawn By  
 TL

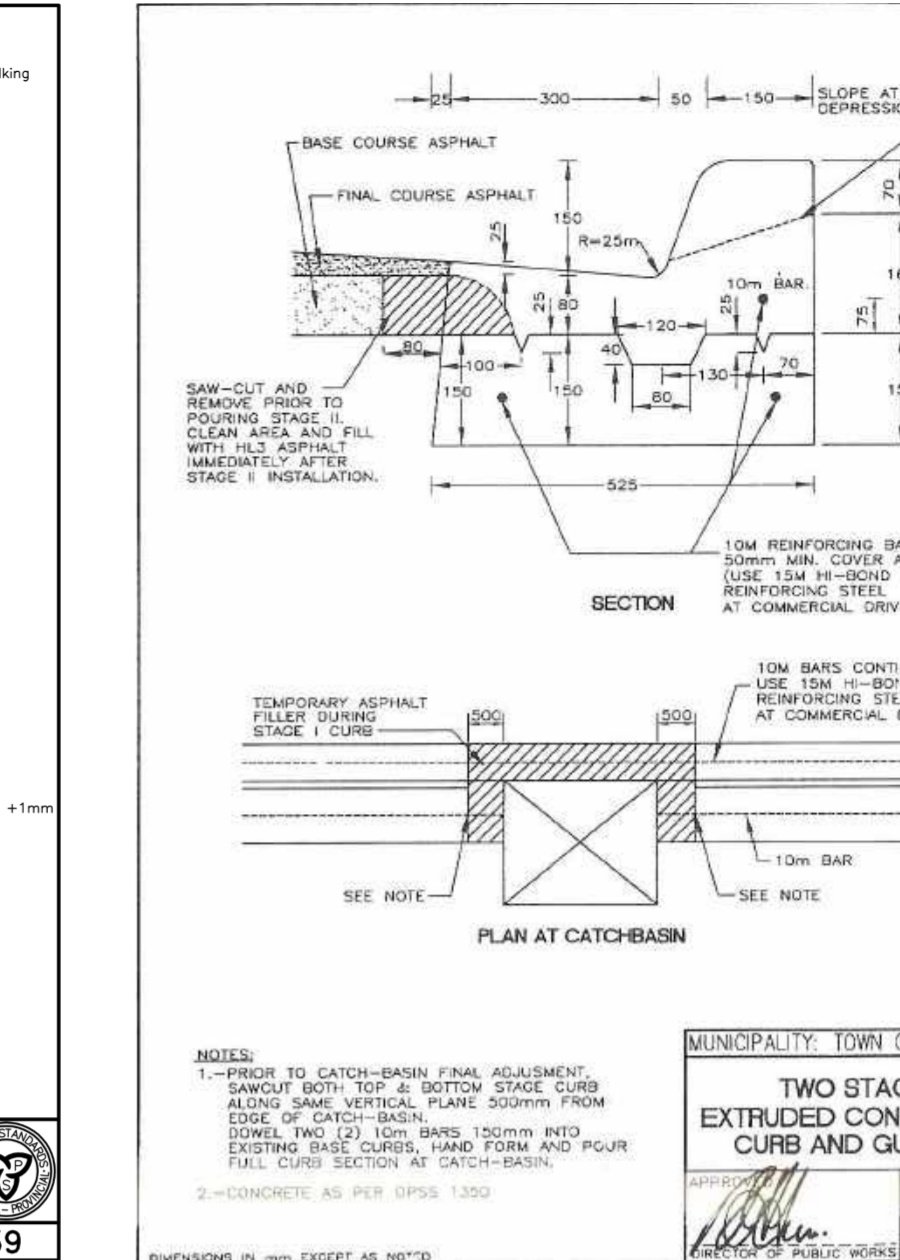
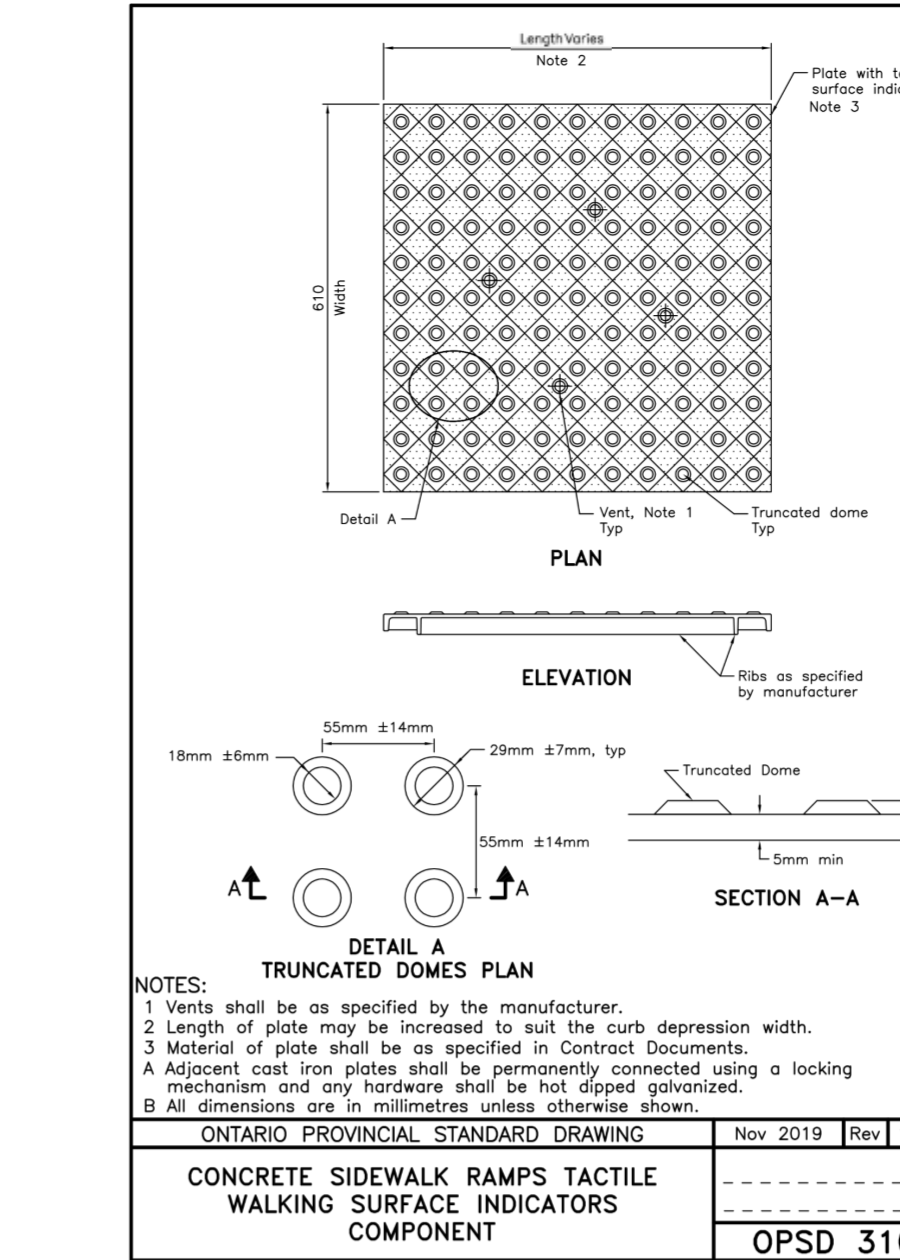
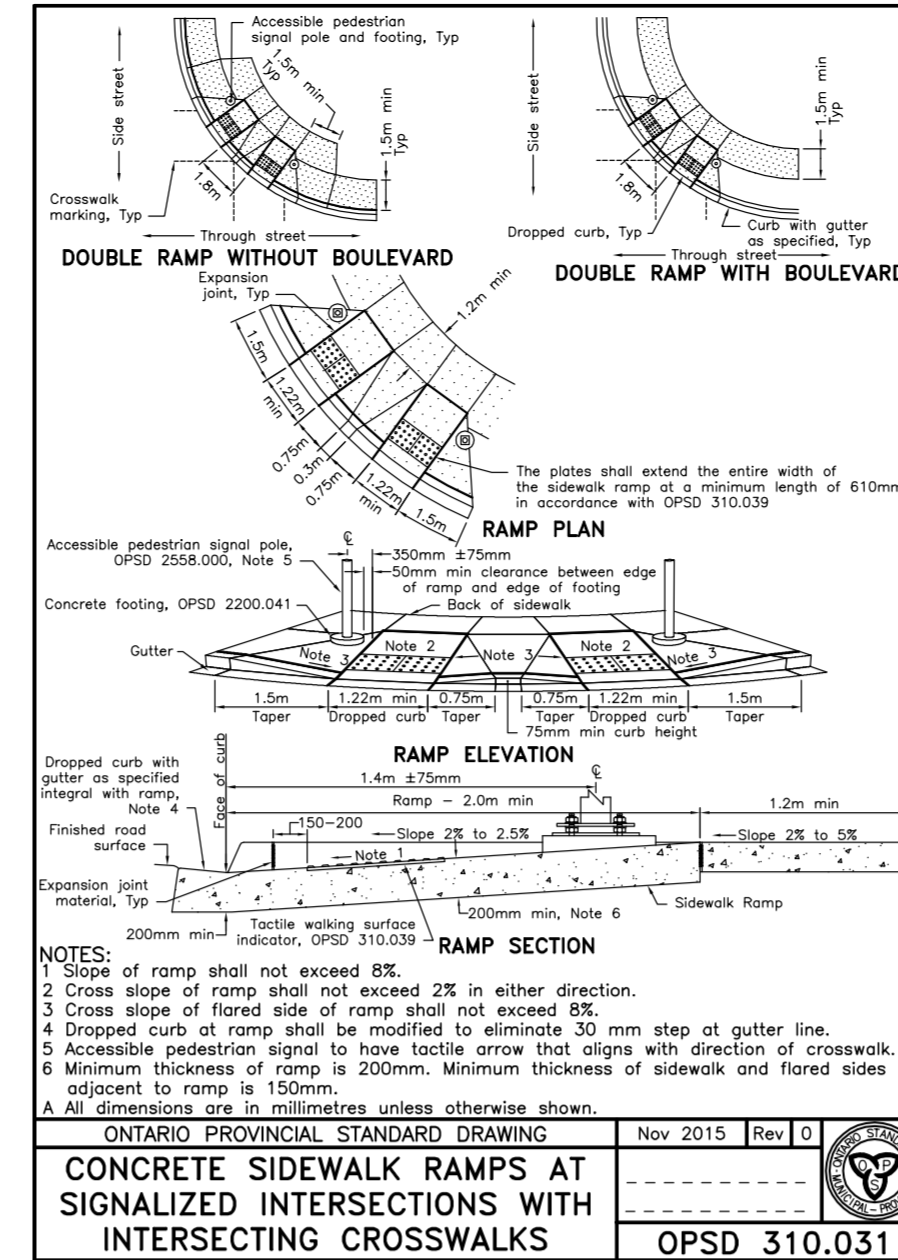
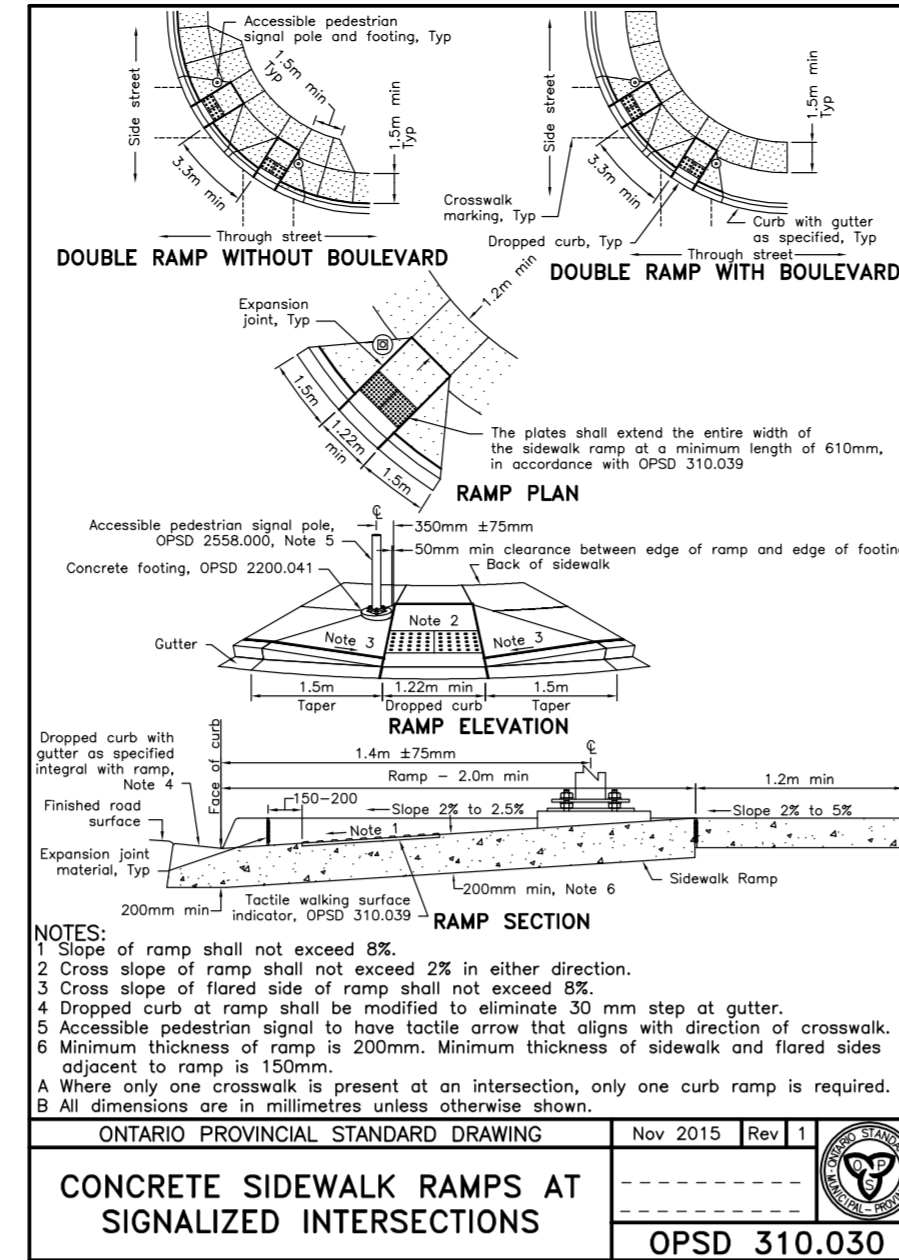
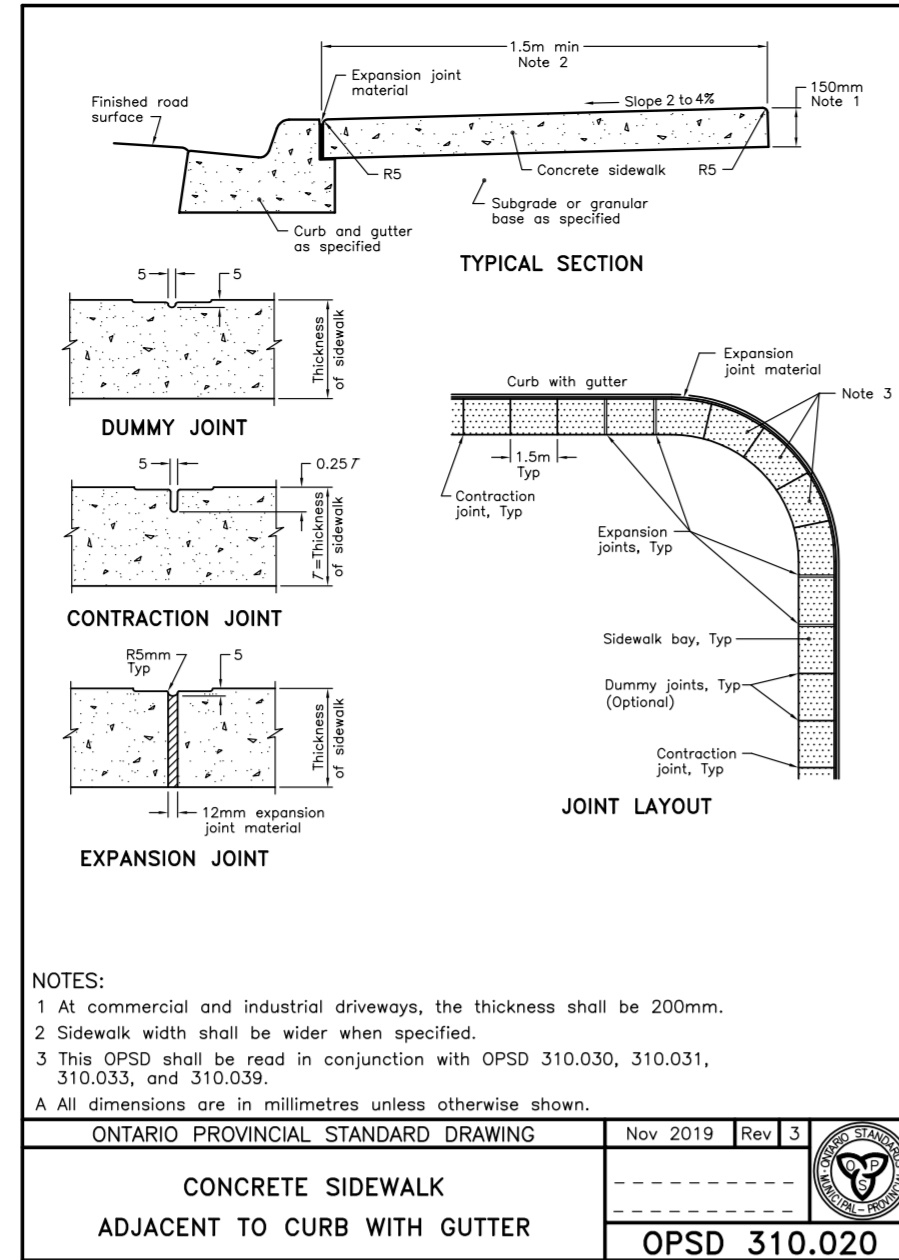
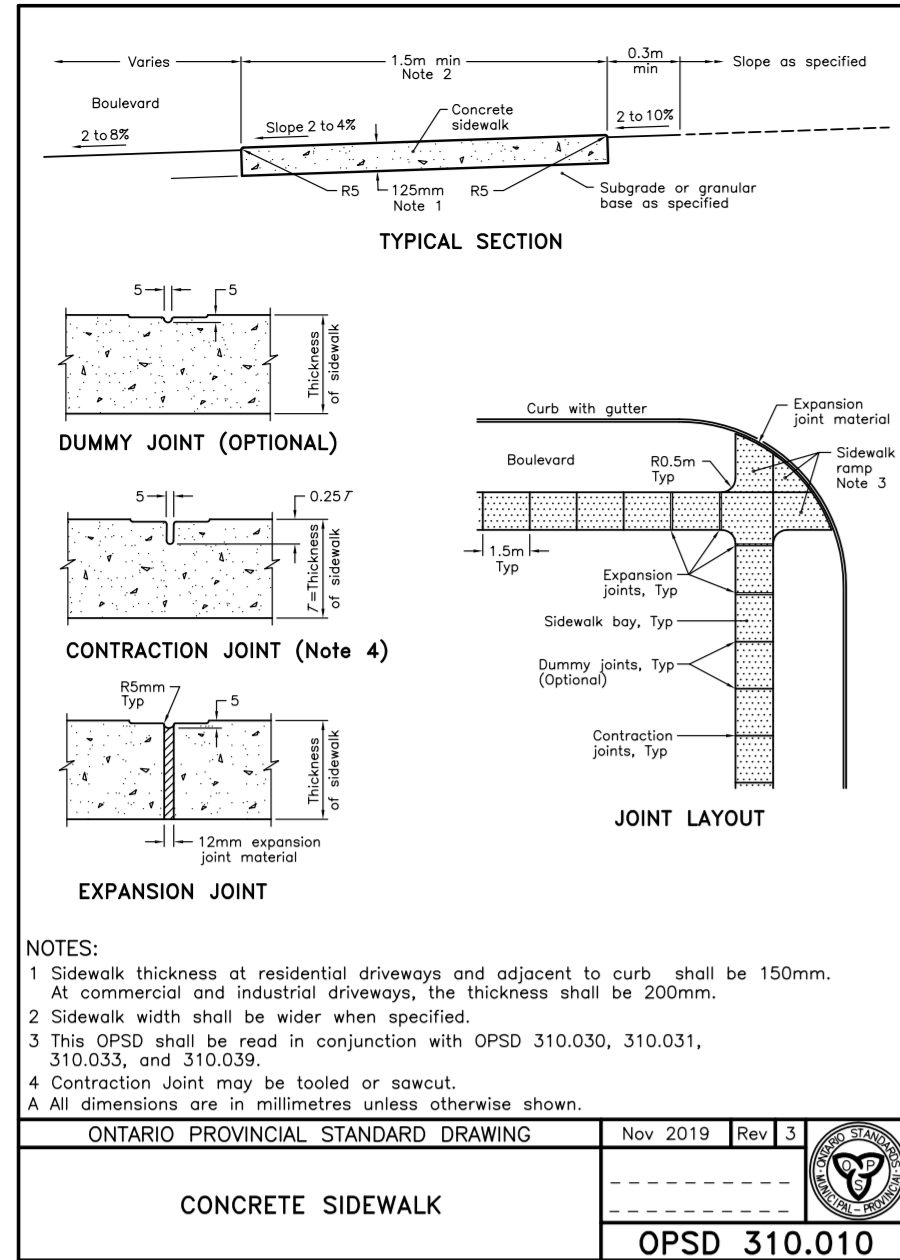
Reviewed By  
 LW

Scale  
 As Noted

Project No.

Date  
 2023-10-24

Drawing No.  
 L405



1 CIP Concrete Sidewalk at Boulevard Scale: NTS

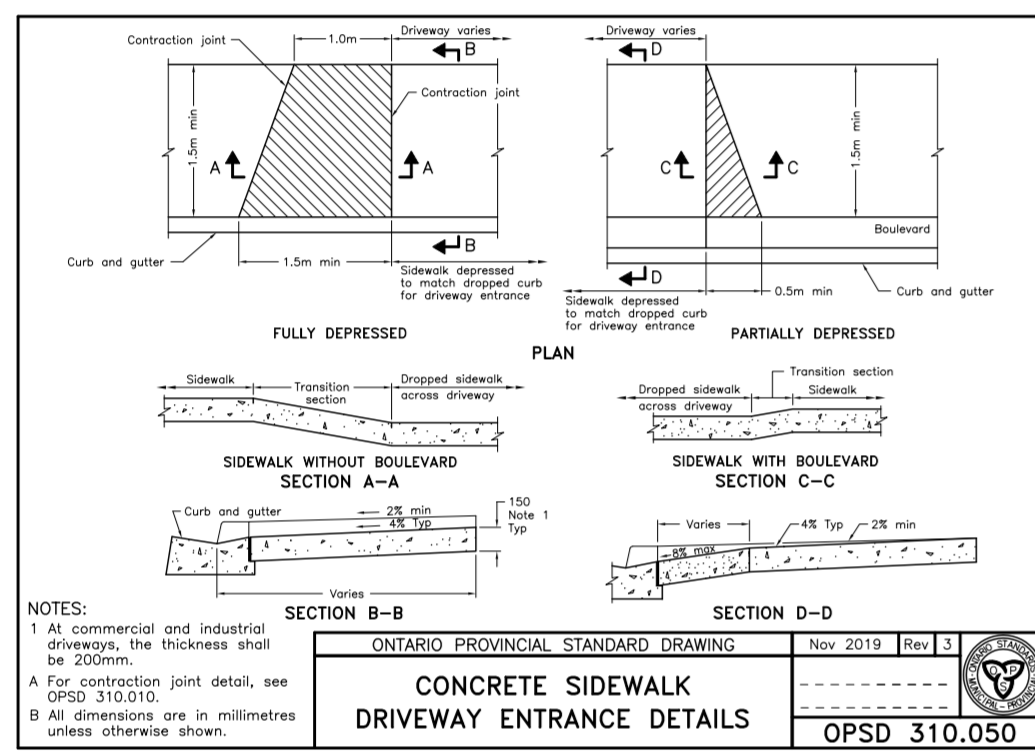
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3 CIP Concrete Sidewalk Ramps Scale: NTS

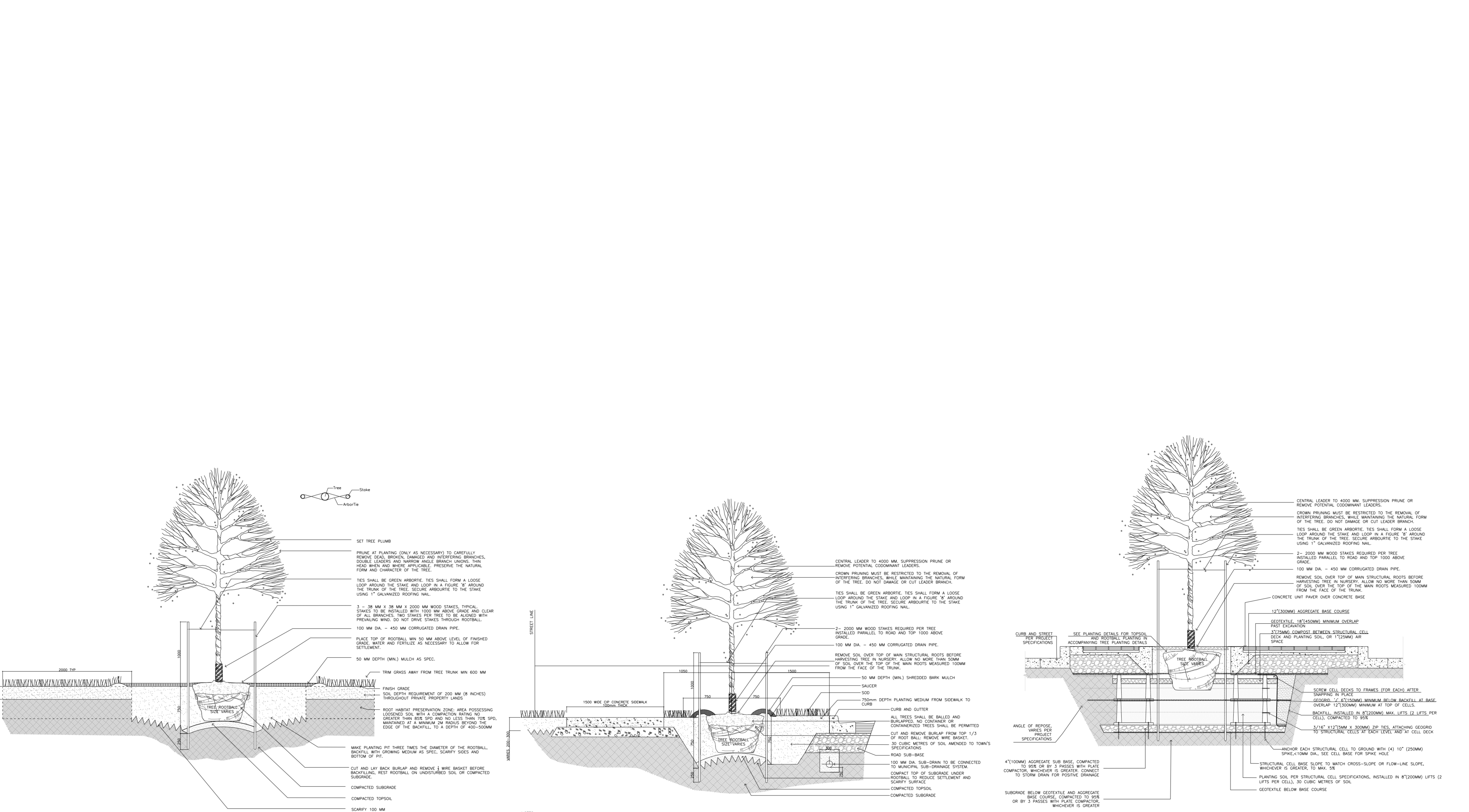
4 CIP Concrete Sidewalk Ramps w/ Intersecting Crosswalks Scale: NTS

5 Tactile Walking Surfacing Indicators at Sidewalk Ramp Scale: NTS

6 CIP Concrete Curb and Gutter Scale: NTS



7 CIP Concrete Sidewalk at Driveway Entrance Scale: NTS



8 Tree Planting on Private Property Scale: NTS

9 2.55m Wide Public Boulevard Tree Planting Detail Scale: NTS

10 Tree Planting in Typical Streetscape, Using Structural Soil Cells Scale: NTS

**PUBLICCITY**  
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 Winnipeg 11-600 Clinton Street, Winnipeg MB, R3G 2X6  
 204-475-9323  
 publiccityarchitecture.com

Owner  
 Distrikt Developments  
 1-90 Wingold Ave.  
 Toronto, Ontario  
 M8B 1P5

Distrikt  
 DISTRIKT

Rev. No. Date Revision Notes  
 01 2023-03-20 ISSUED FOR OPAZBA  
 02 2023-10-24 ISSUED FOR OPAZBA  
 03 2024-02-14 ISSUED FOR OPAZBA  
 04 2024-02-27 ISSUED FOR OPAZBA  
 05 2024-03-20 ISSUED FOR OPAZBA  
 06 2024-09-20 ISSUED FOR OAKVILLE TOC

MUNICIPALITY: TOWN OF OAKVILLE  
**TWO STAGE EXTRUDED CONCRETE CURB AND GUTTER**  
 STD 6-1  
 10/20/2019 L202  
 FEBRUARY 1998

**NOT FOR CONSTRUCTION**

Zoning By-Law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
**590 Argus Road**  
 File: Z.1614.81, OPA 1614.81 & 24T-2001/1614

Architect  
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Project  
**590 Argus Road Development**  
 Oakville, Ontario

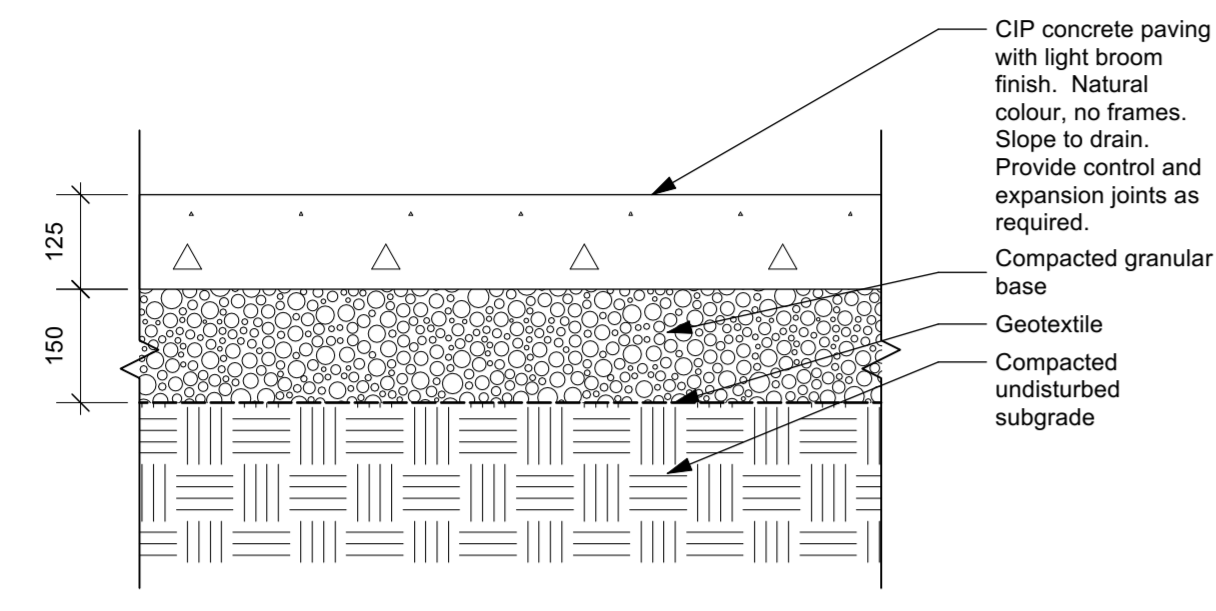
Drawing  
**Town of Oakville Details**

Drawn By  
 TL  
 Scale  
 As Noted  
 Date  
 2024-02-27

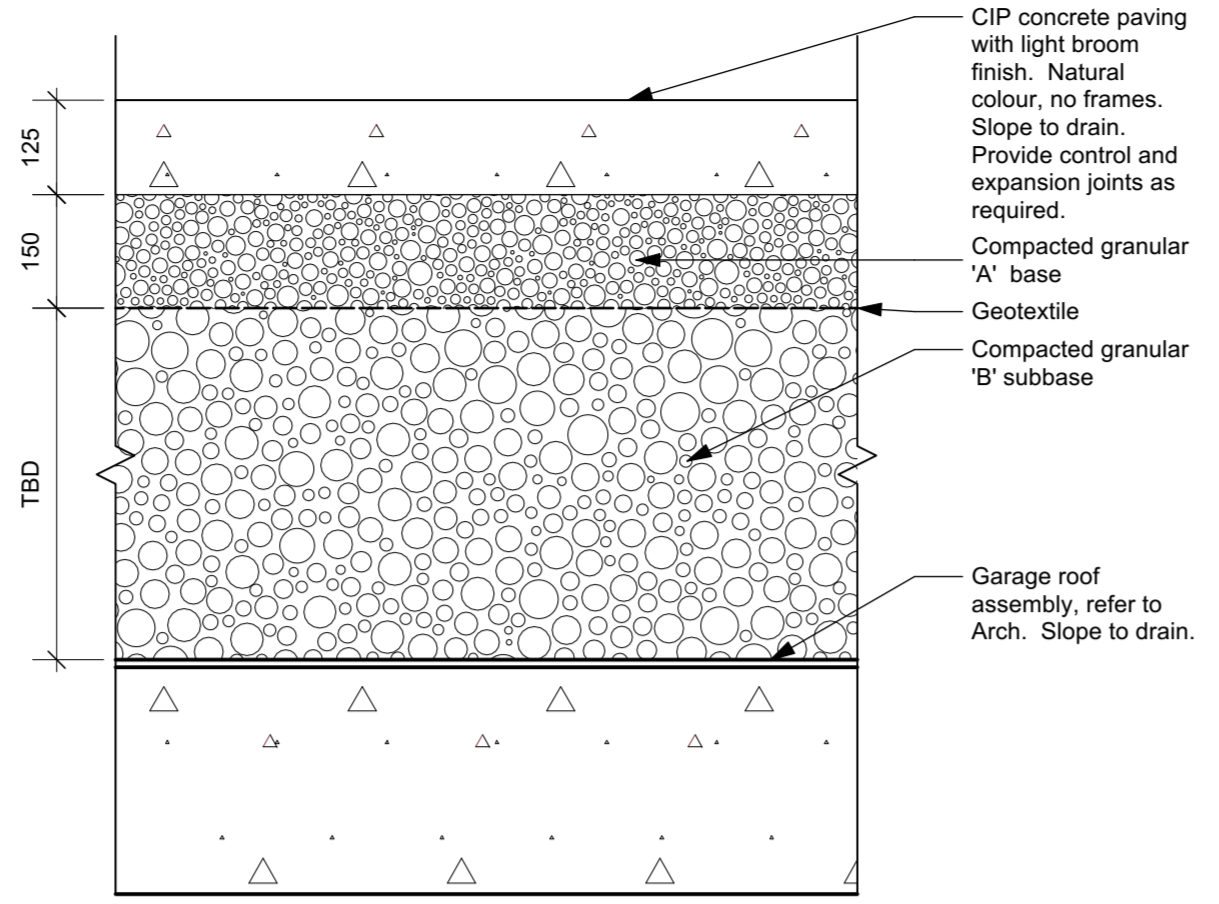
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 LW  
 Project No.  
 Drawing No.  
 L501



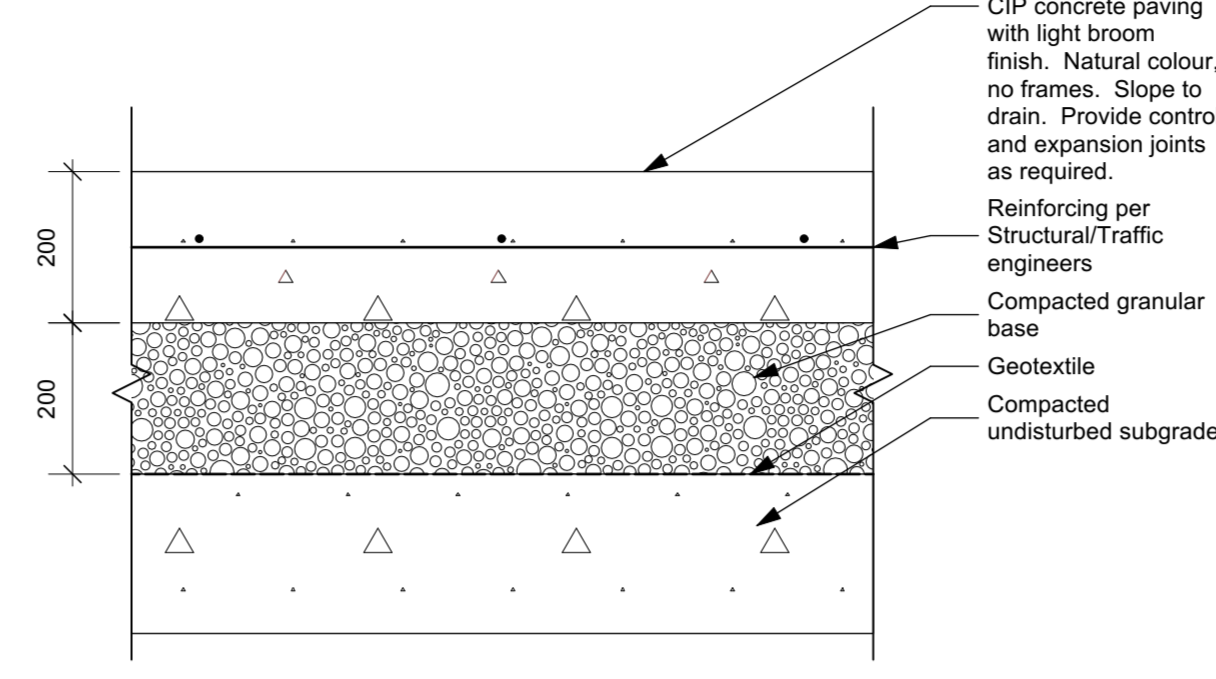
Rev. No.	Date	Revision Notes
01	2023-03-20	ISSUED FOR OPA/ZBA
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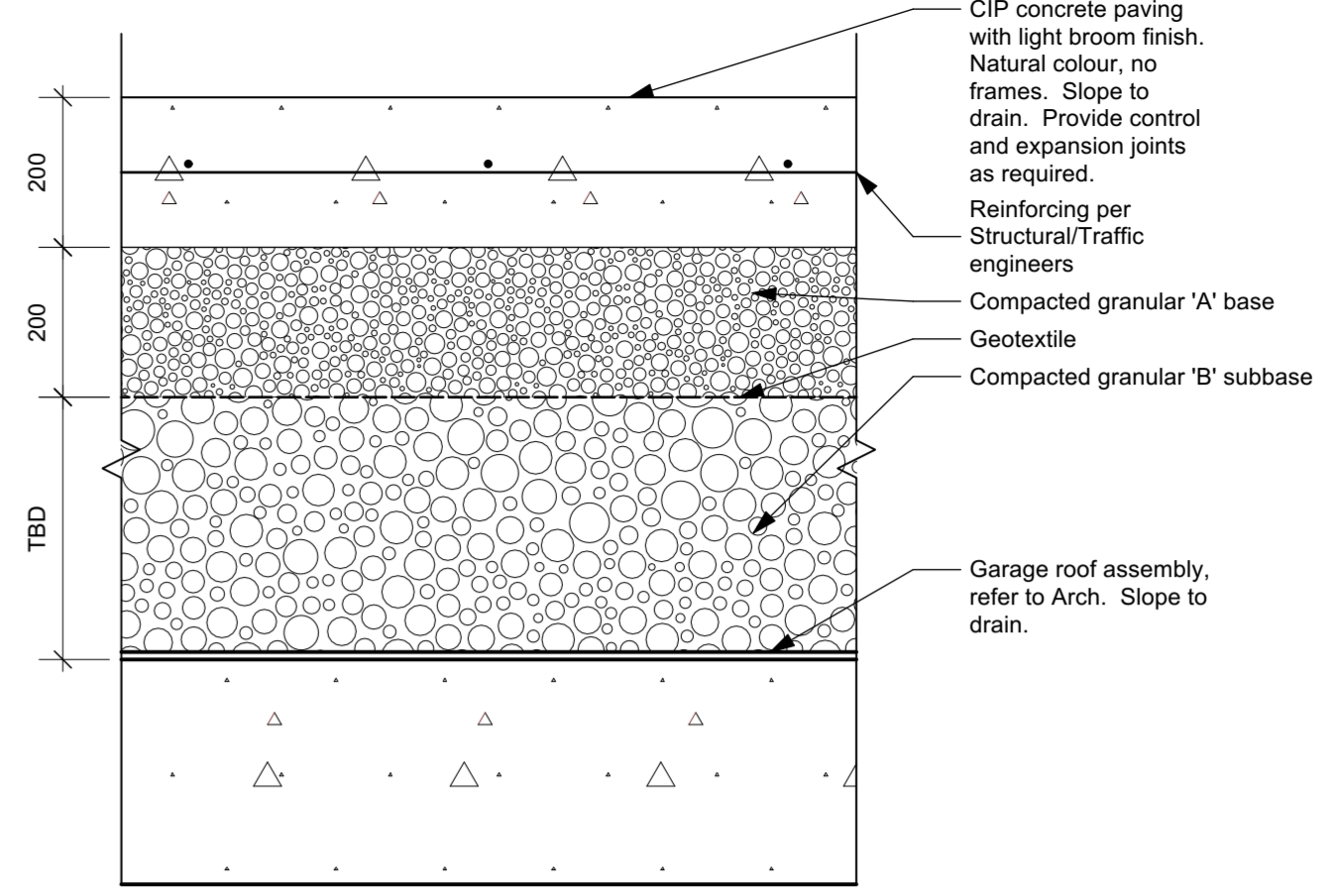
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 Scale: 1:10



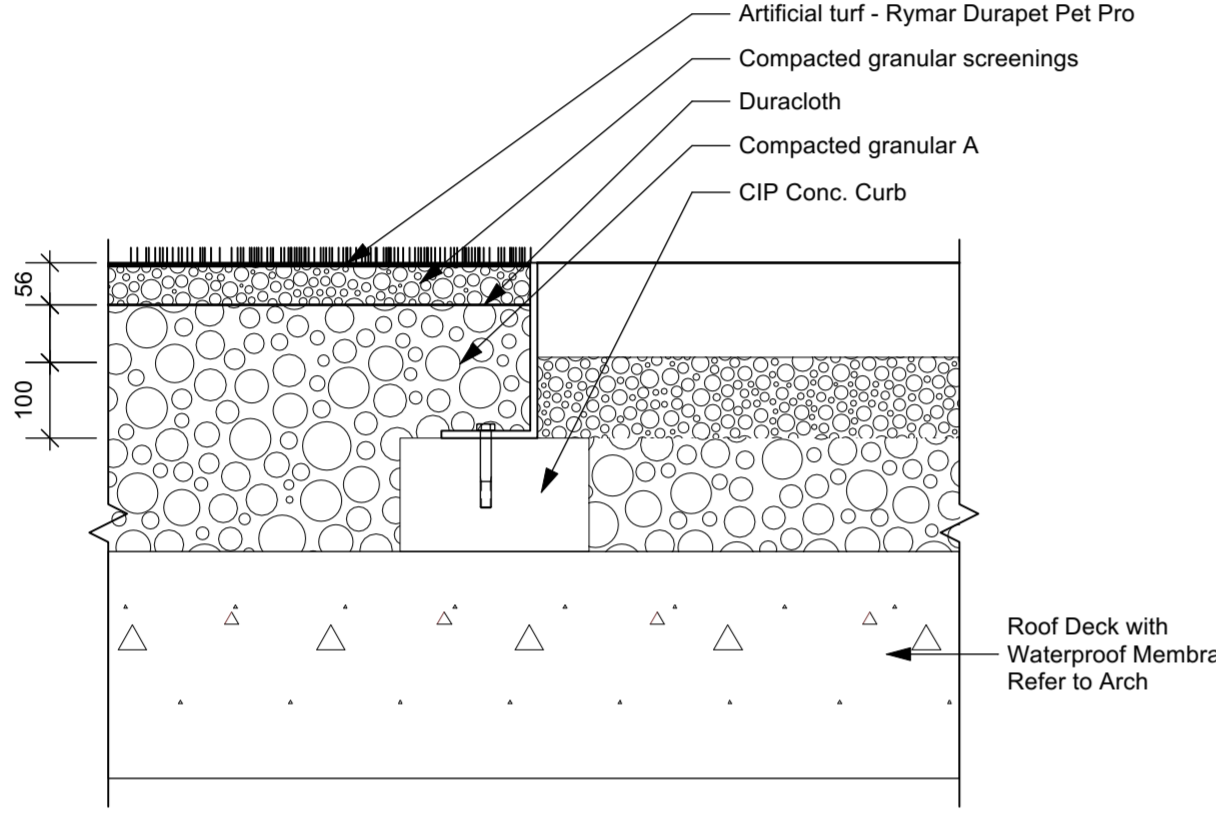
2 Light-duty CIP Concrete Paving on Structure  
 Scale: 1:10



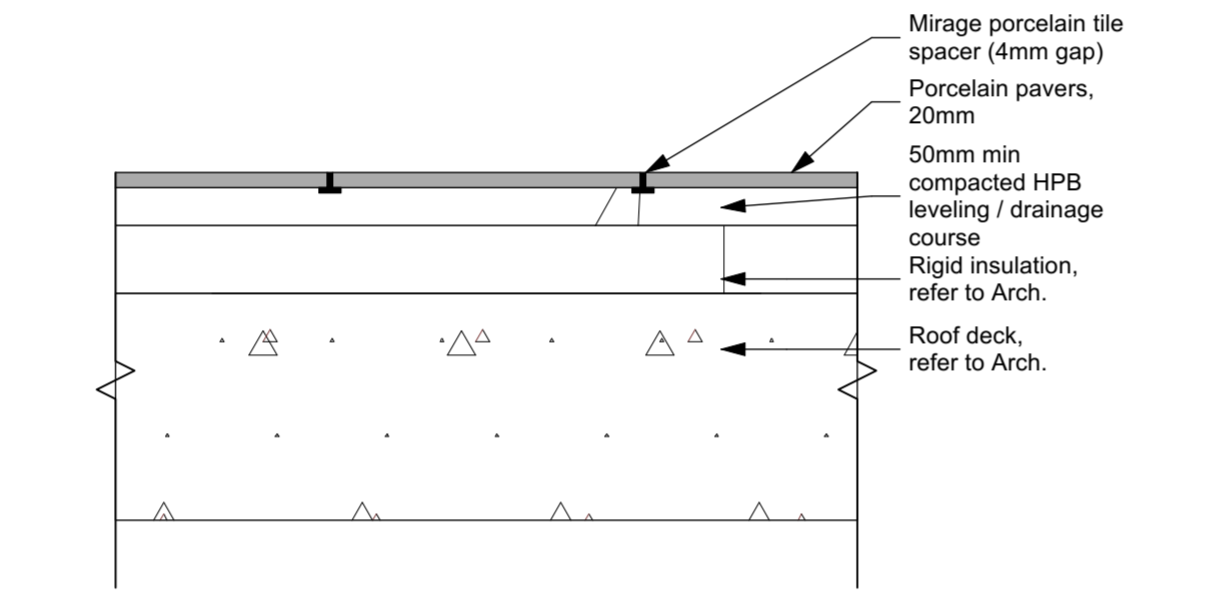
3 Heavy-duty CIP Concrete Paving on Grade  
 Scale: 1:10



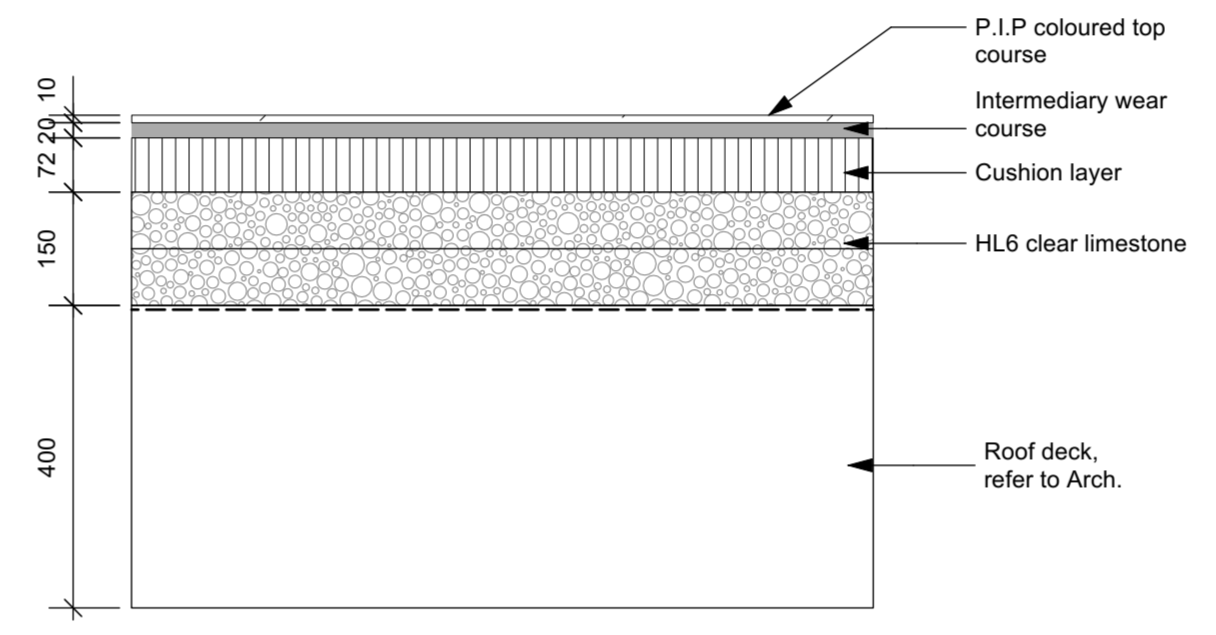
4 Heavy-duty CIP Concrete Paving on Structure  
 Scale: 1:10



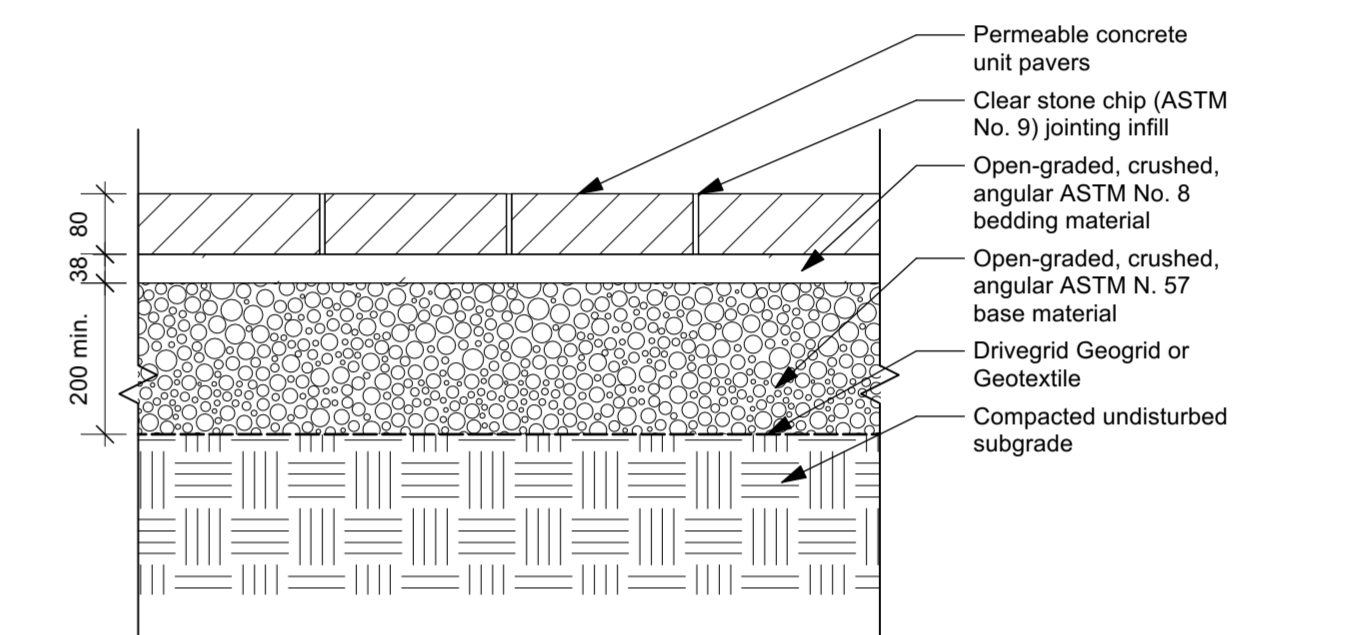
5 Artificial Turf on Roof Deck, typ.  
 Scale: 1:10



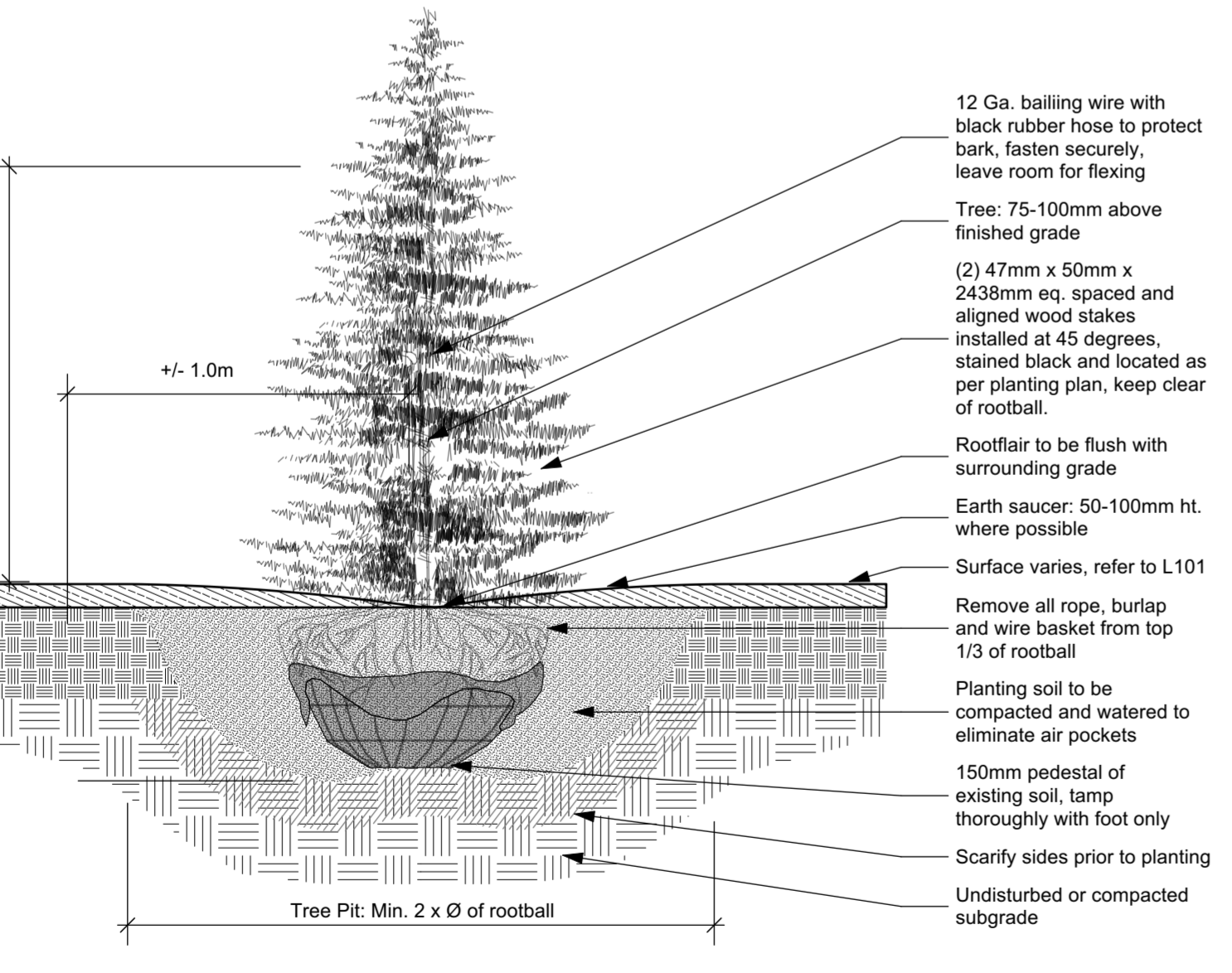
6 Porcelain Paver  
 Scale: 1:10



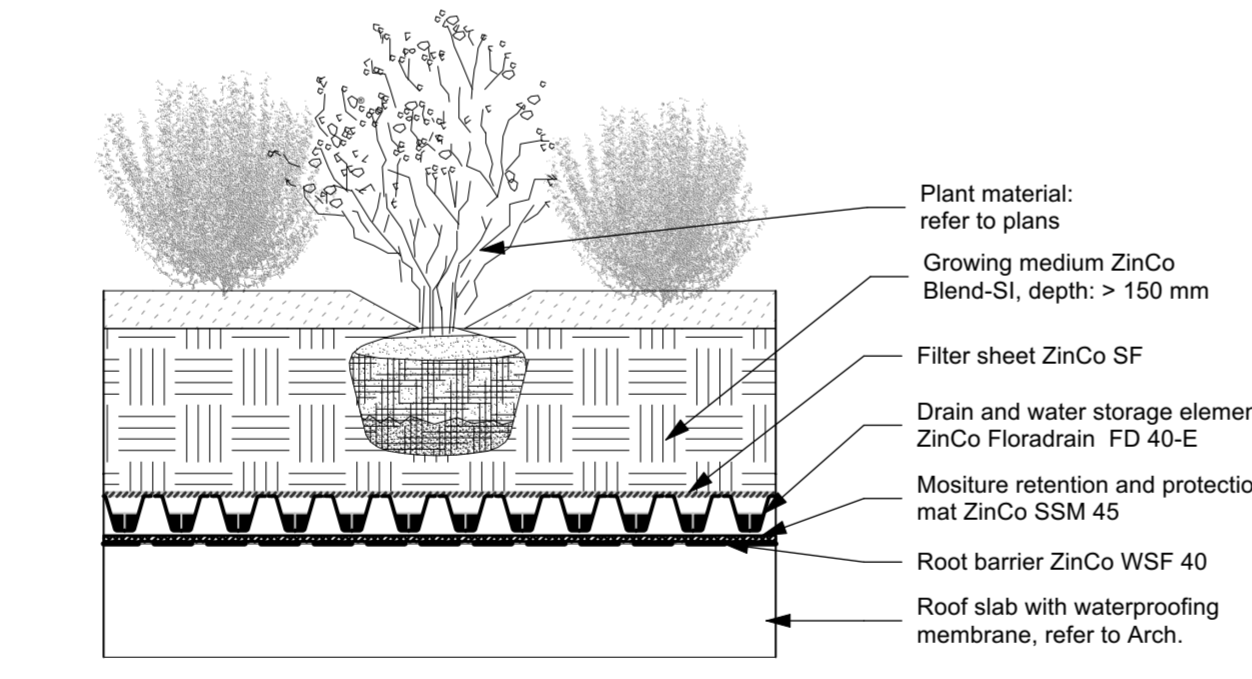
7 Rubber Play Surfing  
 Scale: 1:10



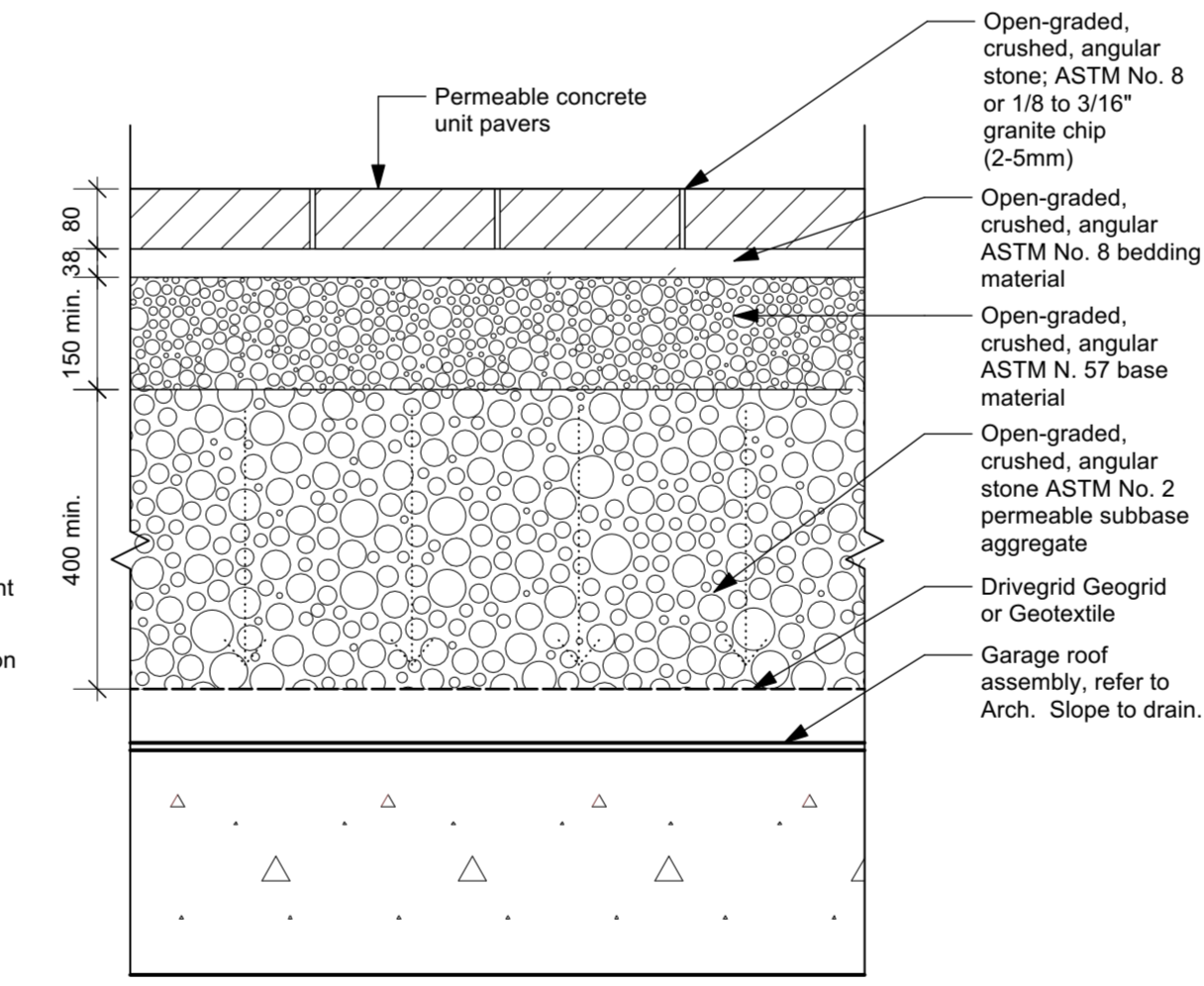
8 Light-duty Permeable Paving on Grade  
 Scale: 1:10



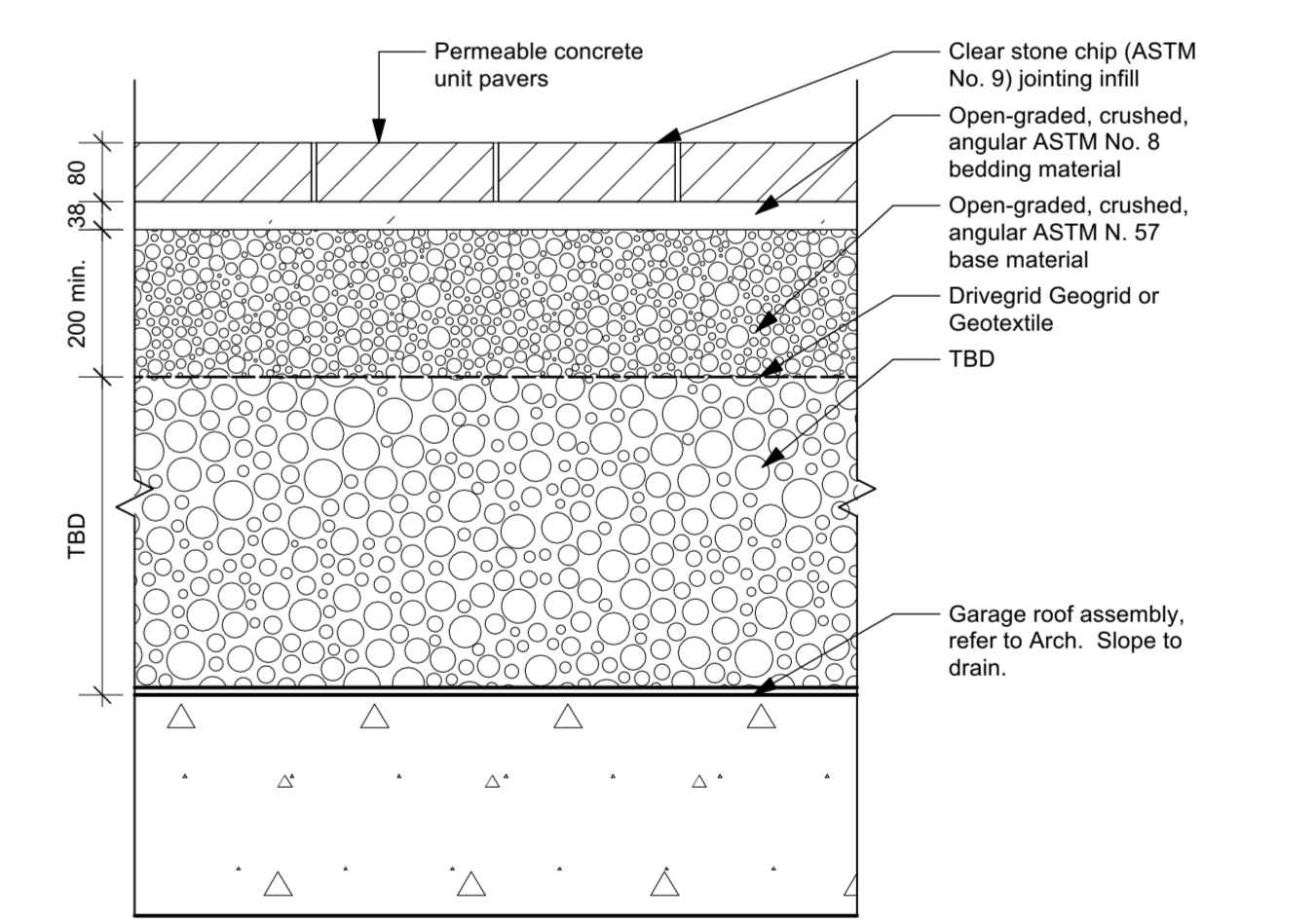
9 Coniferous Tree Planting  
 Scale: 1:20



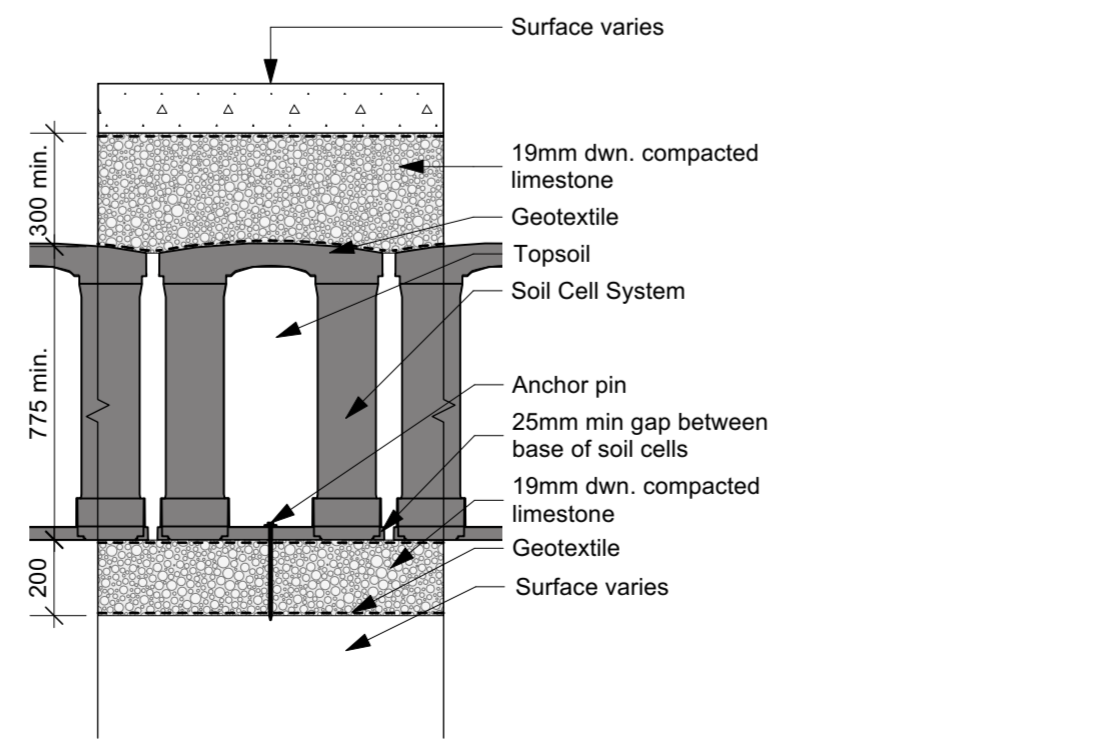
10 Semi Intensive Green Roof Planting Perennial Garden by Zinco  
 Scale: 1:20



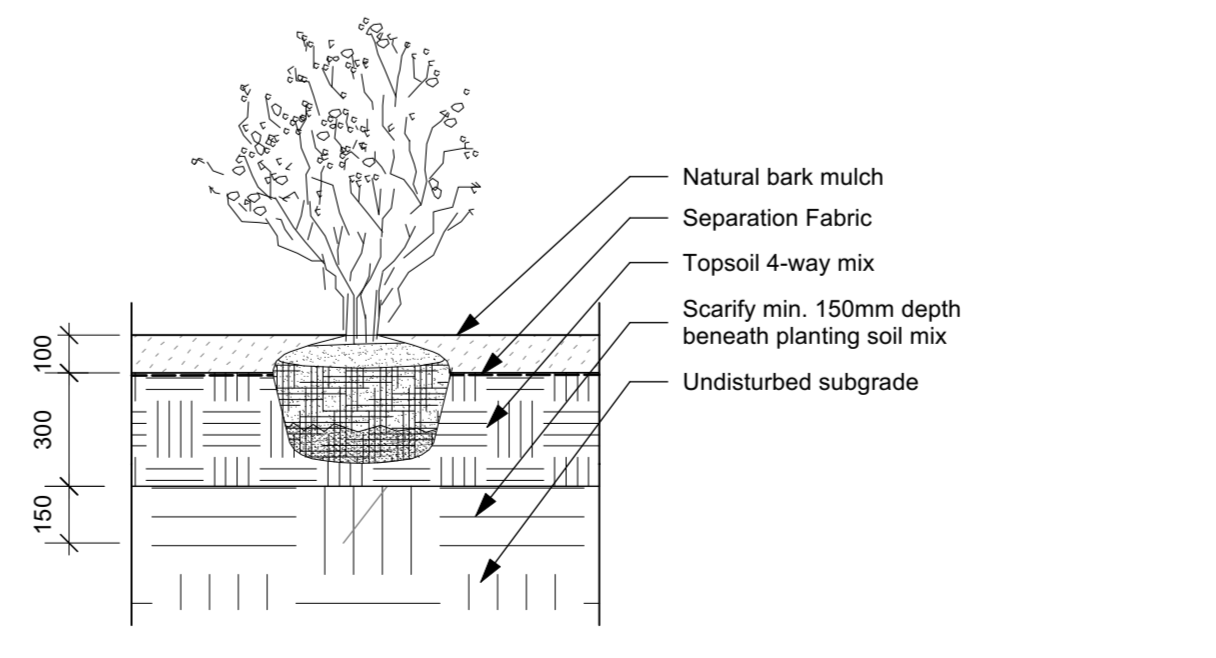
11 Heavy-duty Permeable Paving on Structure  
 Scale: 1:10



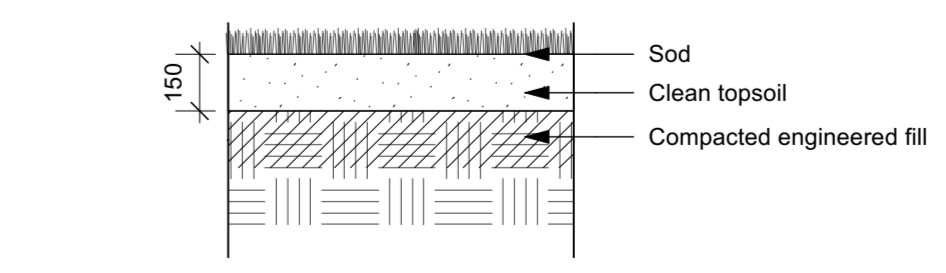
12 Light-duty Permeable Paving on Structure  
 Scale: 1:10



13 Soil Cell  
 Scale: 1:20



14 Shrub planting, typ.  
 Scale: 1:20



15 Sod  
 Scale: 1:20

**NOT FOR CONSTRUCTION**

Zoning By-Law Amendment, Official Plan Amendment and Draft Plan of Subdivision  
 590 Argus Road  
 File: Z.1614.81, OPA 1614.81 & 24T-23001/1614

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Project  
 590 Argus Road Development  
 Oakville, Ontario

Drawing  
 Landscape Surfacing and Planting Details

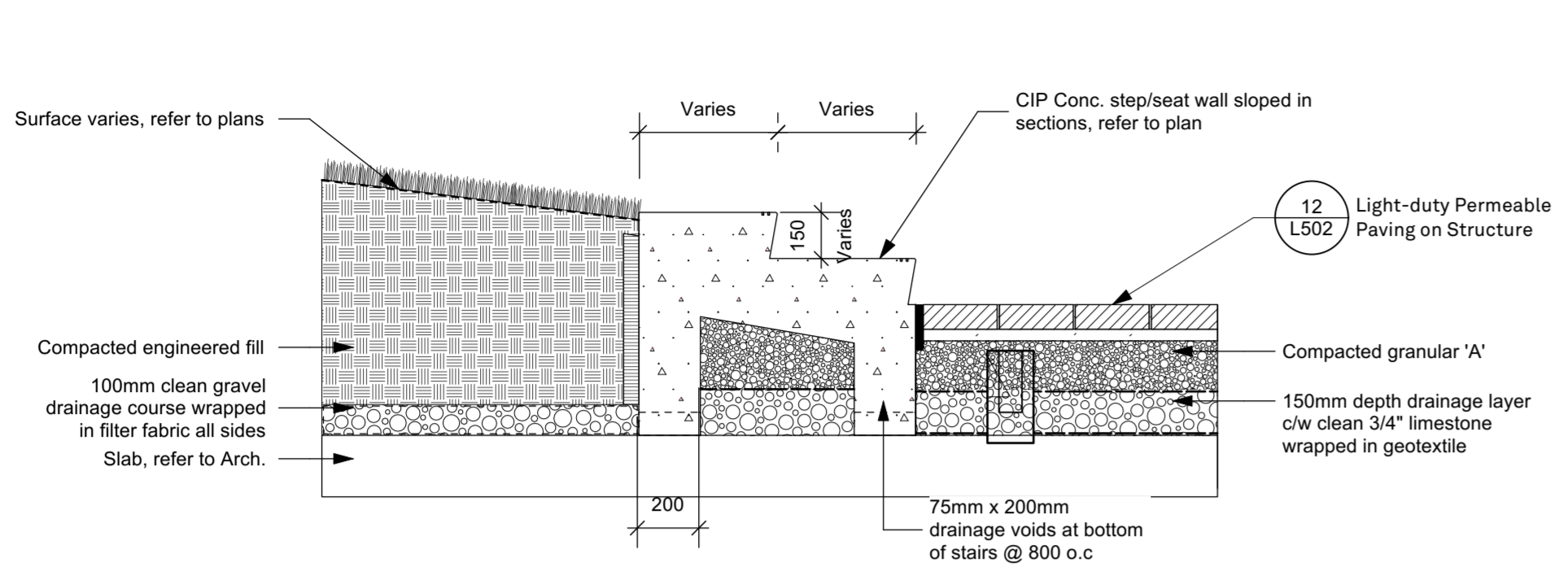
Drawn By  
 TL  
 Scale  
 As Noted

Reviewed By  
 LW  
 Project No.

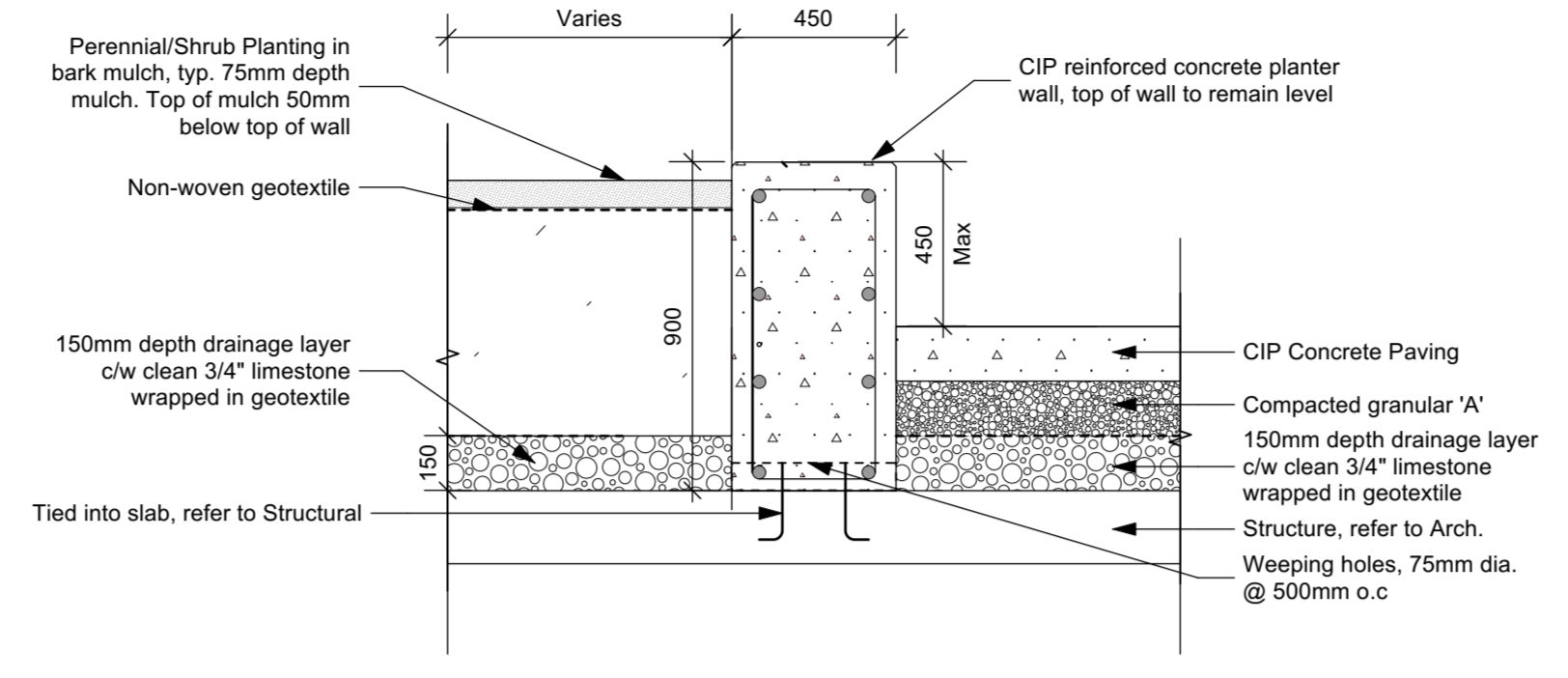
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 2024-02-27

Drawing No.  
 L502

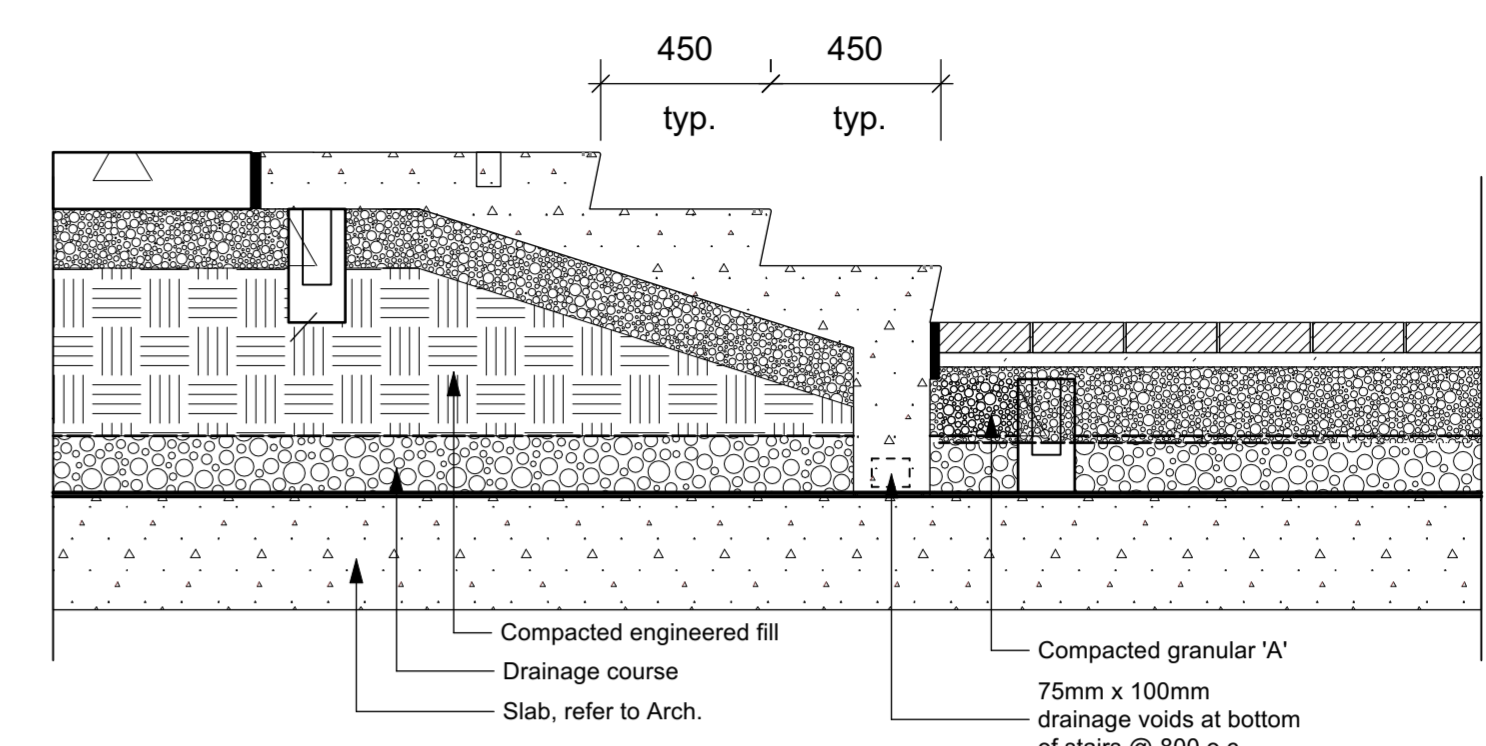
Rev. No.	Date	Revision Notes
01	2023-03-20	ISSUED FOR OPA/ZBA
02	2023-10-24	ISSUED FOR OPA/ZBA
03	2024-02-27	ISSUED FOR OPA/ZBA
04	2024-03-20	ISSUED FOR OPA/ZBA
05	2024-09-20	ISSUED FOR OAKVILLE TOC



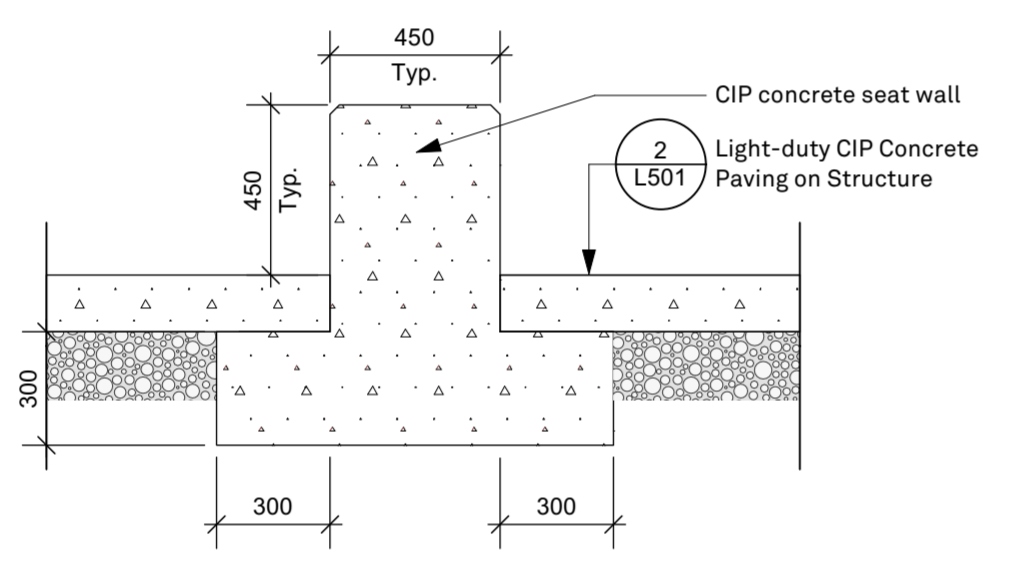
1 CIP Conc. Step/Seatwall  
 Scale: 1:20



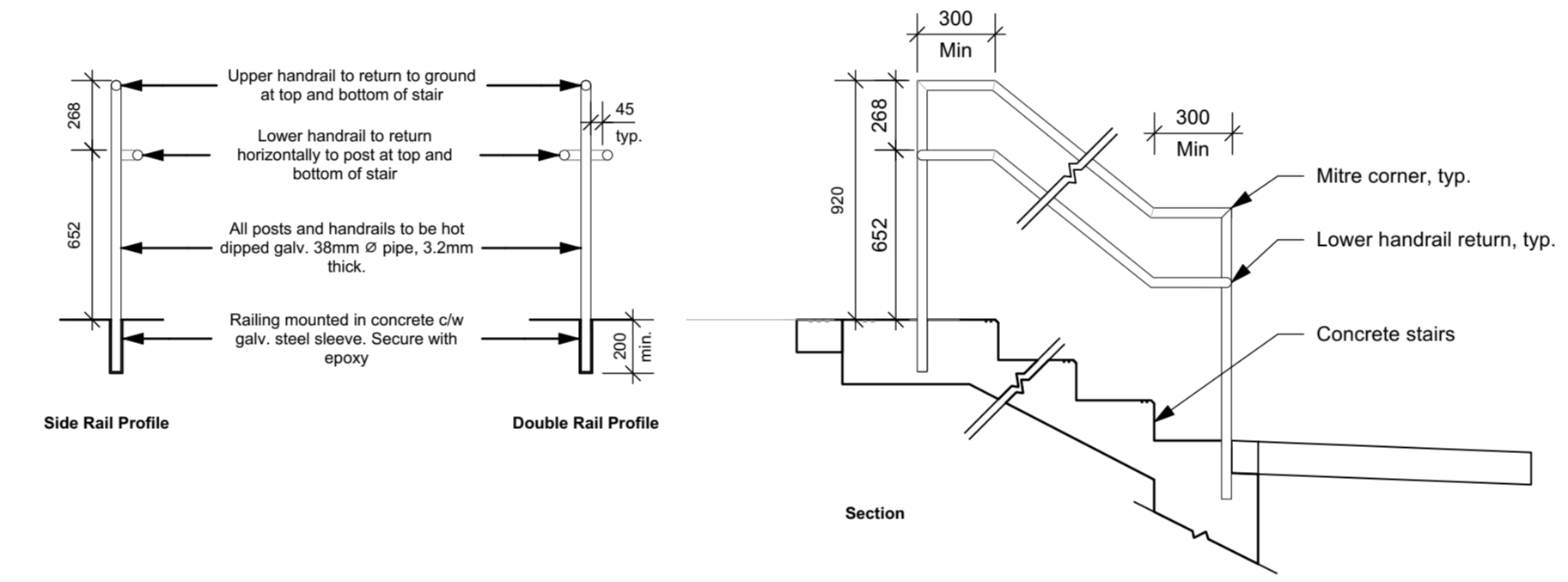
2 CIP Conc. Planter/Seat Wall  
 Scale: 1:20



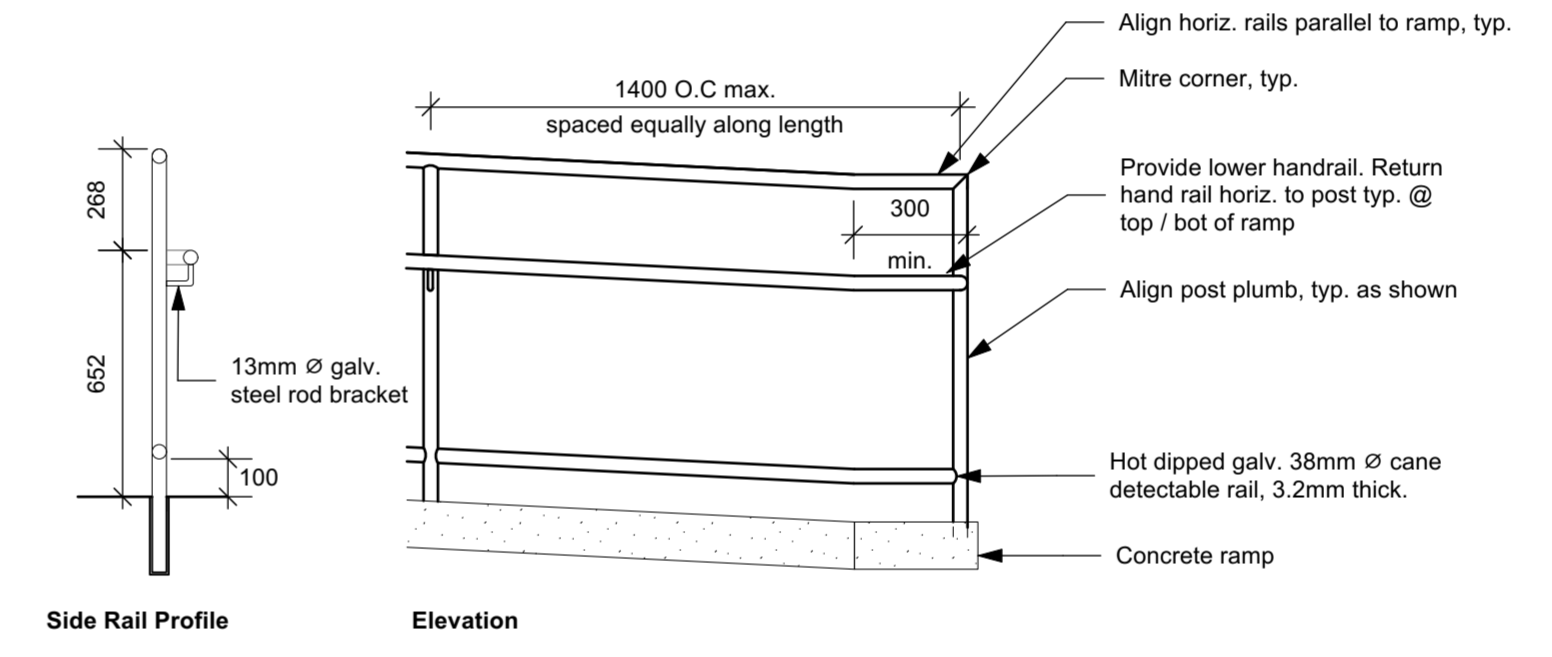
3 CIP Concrete Stairs @ Building B  
 Scale: 1:20



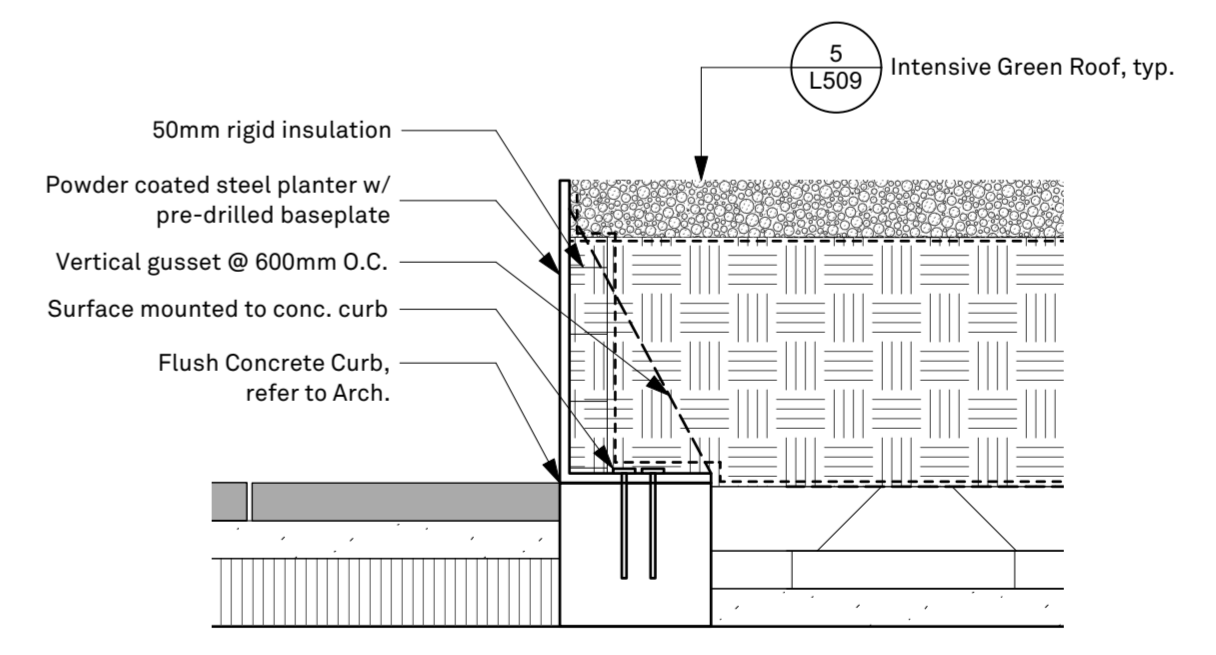
5 Freestanding Concrete Seat Wall  
 Scale: 1:20



6 Custom Galvanized Handrail @ Stairs  
 Scale: 1:25



7 CIP Concrete Ramp w/ Handrail  
 Scale: 1:20



8 Metal Planter on Slab  
 Scale: 1:10

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Project  
 590 Argus Road Development  
 Oakville, Ontario

Drawing  
 Landscape Details

Drawn By  
 TL  
 Scale  
 As Noted  
 Date  
 2024-02-27

Reviewed By  
 LW  
 Project No.  
 Drawing No.  
 1503